



CITY OF PHILADELPHIA

DEPARTMENT OF PUBLIC PROPERTY

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - BRIAN ABERNATHY

COMMISSIONER - PUBLIC PROPERTY - BRIDGET COLLINS-GREENWALD

PARKS & RECREATION - KATHRYN OTT LOVELL

CHIEF EXECUTIVE OFFICER - VIKRAM DEWAN

RENOVATIONS TO:

Philadelphia Zoological Garden

Small Primate Holding Mechanical Upgrades

3400 Girard Avenue

Philadelphia, PA

19104

DPP PROJECT NO. 71-19-4365-01

ARCHITECT



Blackney Hayes Architects
150 S. Independence Mall West, Suite 1200
Philadelphia, PA 19106
phone: 215.829.0922
CONTACT PERSON: Traci Luckenbill

STRUCTURAL ENGINEER

KS Engineers, P.C.
35 South 3rd Street
Philadelphia, PA 19106
phone: 215.925.0425
CONTACT PERSON: Sharad Choudhary

MPFP ENGINEER

Wick Fisher White
100 N. Independence Mall West, Suite 5 SE
Philadelphia, PA 19106-1521
phone: 215.627.0200
CONTACT PERSON: Andrew O'Pella

ELECTRICAL ENGINEER

DGW Electrical Engineering, Inc.
232 Cecelia Acres Drive
Ivyland, PA 18974
phone: 215.354.9161
CONTACT PERSON: Darius Plichta

ABBREVIATIONS REFER TO G1.0 FOR ARCHITECTURAL ABBREVIATIONS
REFER TO MPFP0.0 FOR MECHANICAL ABBREVIATIONS
REFER TO E0.1 FOR ELECTRICAL ABBREVIATIONS

SYMBOLS REFER TO G1.0 FOR ARCHITECTURAL SYMBOLS
REFER TO M0.0 FOR MECHANICAL SYMBOLS
REFER TO E0.1 FOR ELECTRICAL SYMBOLS

DRAWING LIST

| SHEET LIST | |
|--------------|---|
| SHEET NUMBER | SHEET NAME |
| _CS | PROJECT COVER SHEET |
| G1.0 | GENERAL NOTES AND CODE PLAN |
| A1.1 | PLANS |
| A1.2 | PLANS |
| A3.1 | DOORS |
| A4.1 | ELEVATIONS AND SECTIONS |
| A6.1 | EXTERIOR DETAILS |
| S2.1 | FOUNDATION AND ROOF PLAN |
| S3.1 | SECTIONS |
| S4.1 | TYPICAL SECTIONS AND DETAILS |
| MPFP0.0 | MECHANICAL/PLUMBING/FIRE PROTECTION COVER SHEET |
| MD3.0 | MECHANICAL DEMOLITION SMALL PRIMATE |
| M3.0 | MECHANICAL SMALL PRIMATE NEW WORK PLAN |
| M4.0 | MECHANICAL CONTROLS |
| P1.0 | STORM PIPING NEW WORK |
| FP1.0 | FIRE PROTECTION NEW WORK |
| E0.0 | ELECTRICAL SYMBOLS AND ABBREVIATIONS |
| ED3.0 | ELECTRICAL DEMOLITION SMALL PRIMATE |
| E3.0 | ELECTRICAL SMALL PRIMATE PLANS |
| E4.0 | ELECTRICAL BASEMENT PLANS - ANIMAL CLINIC |
| E5.1 | ELECTRICAL SINGLE LINE DIAGRAM |
| E6.1 | ELECTRICAL DETAILS AND DIAGRAMS |

LOCATION PLAN



NOT TO SCALE

PROJECT APPROVED

| |
|---|
| COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY |
| DEPUTY COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY |
| PROJECT DIRECTOR/DPP-CAPITAL PROJECTS DIVISION |
| ART COMMISSION |
| HISTORICAL COMMISSION |
| SEALS |

CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD
CITY HALL - ROOM 701

| | |
|------------------------|--|
| PHILADELPHIA | PENNSYLVANIA |
| DPP PROJECT NO. | 71-19-4365-01 |
| CONSULTANT PROJECT NO. | 17-116 |
| DATE | 06/07/2019 |
| SCALE | N/A |
| DRAWN BY | TL |
| CHECKED BY | CS |
| NOTE: | ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK. |

CS-1

SYMBOLS LEGEND

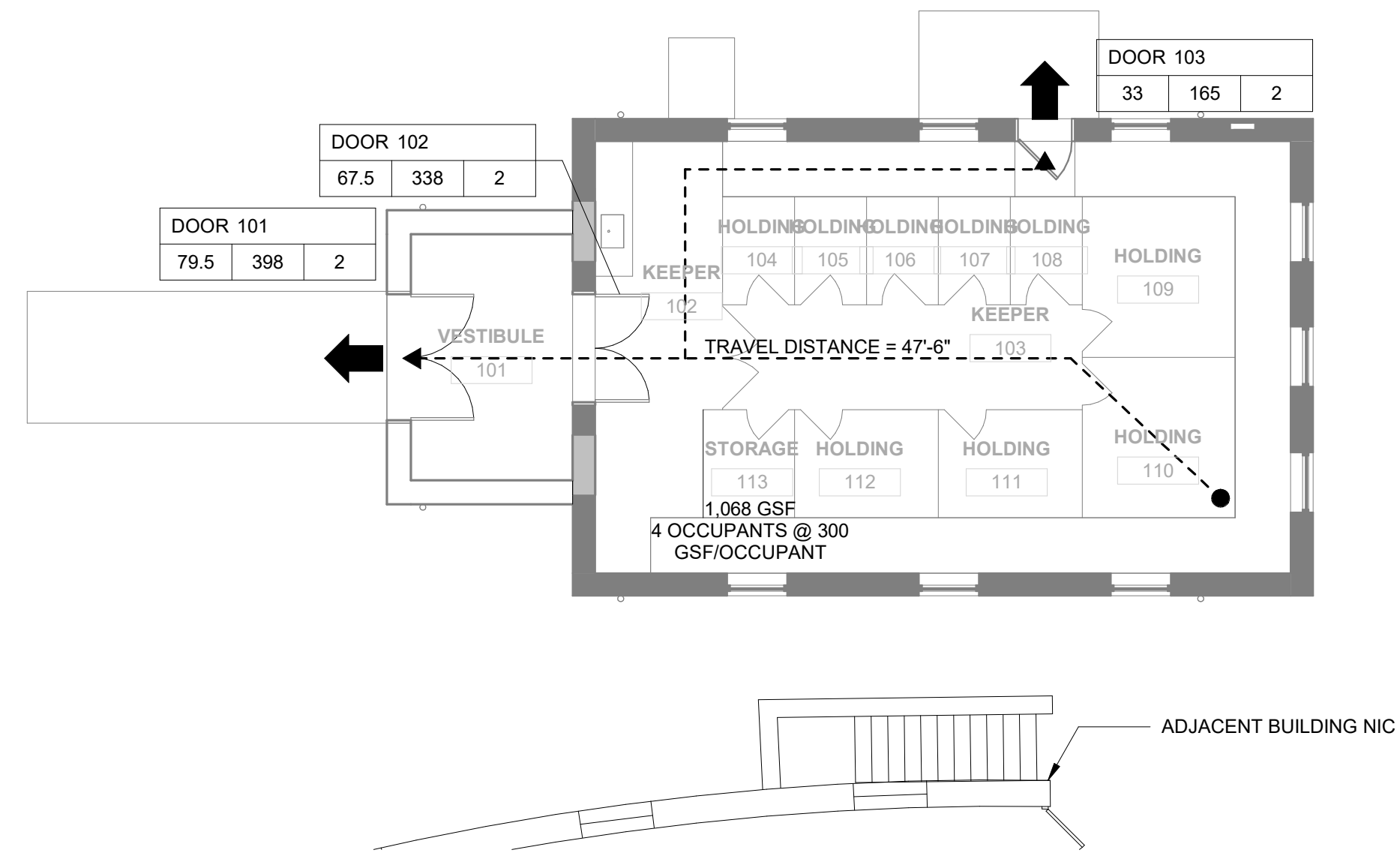
| | |
|--|--|
| | ROOM TAG: NAME, NUMBER, AREA |
| | DOOR TAG |
| | PARTITION TYPE TAG |
| | WINDOW TYPE TAG |
| | TOILET ACCESSORY TAG |
| | KEYNOTE TAG (REFER TO ASSOCIATED SHEET NOTES) |
| | FFE TAG |
| | DETAIL NUMBER & SHEET REFERENCE (SIM: SIMILAR, OPP: OPPOSITE, MIR: MIRRORRED) |

| | |
|--|---|
| | EXTERIOR ELEVATION TAG: DRAWING NUMBER & SHEET REFERENCE |
| | INTERIOR ELEVATION TAG: DRAWING NUMBER & SHEET REFERENCE |
| | SECTION TAG REFERENCE |
| | ELEVATION LEVEL REFERENCE |
| | SPOT ELEVATION REFERENCE |
| | CENTERLINE |
| | SHEET DRAWING REFERENCE: NUMBER, NAME, & SCALE |

ABBREVIATIONS

| | | | | | | | |
|--------|---|-------|--|------|--|--------|----------------------------------|
| A/C | Air Conditioning | EJ | Expansion Joint | MAX | Maximum | SAB | Sound Attenuation Blanket |
| ACT | Acoustical Ceiling Tile | EL | Elevation | MECH | Mechanical | SCHED | Schedule |
| AFF | Above Finished Floor | ELEC | Electric, Electrical | MFR | Manufacturer | SFRM | Sprayed Fire-Resistant Materials |
| ALT | Alternate | ELEV | Elevator | MIN | Minimum | SIM | Similar |
| ALUM | Aluminum | EPS | Expanded Polystyrene | MISC | Miscellaneous | SPEC | Specification |
| ANOD | Anodize | EQ | Equal | MM | Millimeter | SF | Square foot |
| APPROX | Approximate | EWC | Electric Water Cooler | MO | Masonry Opening | STL | Steel |
| AP | Access Panel | EXP | Exposed | MTL | Metal | STOR | Storage |
| ARCH | Architect, Architecture | EXT | Exterior | NIC | Not in contract | STRUCT | Structure, Structural |
| | | | | NO | Number | SST | Stainless Steel |
| BD | Board | FEC | Fire Extinguisher Cabinet | NOM | Nominal | TEMP | Temporary, Temperature |
| BITUM | Bituminous | FHC | Fire Hose and Valve Cabinet | NTS | Not to scale | TLT | Toilet |
| BLKG | Blocking | FD | Floor drain | | | TO | Top of |
| BO | Bottom Of | FLR | Floor | | | TOP | Top of Parapet |
| | | FRP | Fiberglass Reinforced Plastic | OC | On Center | TOW | Top of wall |
| CAB | Cabinet | FP | Fire Protection | OD | Outside Diameter | TYP | Typical |
| CFCI | Contractor Furnished / Contractor Installed | FT | Feet | OH | Opposite Hand | | |
| | | FIP | Foamed-In-Place | OHD | Overhead | | |
| CG | Corner Guard | GA | Gauge | OFOI | Owner Furnished / Owner Installed | UL | Underwriters Laboratory |
| CJ | Control Joint | GALV | Galvanized | OFCI | Owner Furnished / Contractor Installed | UON | Unless Otherwise Noted |
| CLG | Ceiling | GC | General contractor | OPP | Opposite | | |
| C | Centerline | GFRG | Glass Fiber Reinforced Concrete | OTS | Open To Structure | VB | Vinyl Base |
| CMU | Concrete Masonry Unit | GWB | Gypsum Wallboard | | | VCT | Vinyl Composition Tile |
| COL | Column | | | PLAM | Plastic Laminate | VERT | Vertical |
| CONC | Concrete | | | PLBG | Plumbing | VIF | Verify In Field |
| CONT | Continuous | | | PNT | Paint | VWC | Vinyl Wall covering |
| CPT | Carpet | HC | Hollow Core | PT | Pressure Treated | | |
| CT | Ceramic Tile | HM | Hollow Metal | PTD | Painted | | |
| CW | Curtain Wall | HORIZ | Horizontal | PLWD | Plywood | | |
| | | HP | High Point | PVC | Polyvinyl chloride | | |
| | | HT | Height | | | W/ | With |
| | | HVAC | Heating, Ventilation, and Air Conditioning | | | WC | Water Closet |
| DBL | Double | | | R | Radius | WD | Wood |
| DF | Drinking Fountain | | | RD | Roof drain | WO | Window Opening |
| DIA | Diameter | INSUL | Insulation | REF | Reference, Refrigerator | WP | Waterproofing |
| DIM | Dimension | INV | Invert | REQD | Required | | |
| DN | Down | INT | Interior | REV | Revision | | |
| DS | Downspout | JAN | Janitor | RM | Room | | |
| DTL | Detail | LAV | Lavatory | RO | Rough opening | | |
| DWG | Drawing, Drawings | LP | Low Point | RTU | Roof Top Unit | | |
| | | | | RWC | Rainwater conductor | | |

1 FIRST FLOOR CODE PLAN
1/8" = 1'-0"



CODE DATA

| IEBC/IBC 2018 | | REFERENCE |
|----------------------------------|----------------------------------|---|
| SUMMARY | | |
| Use Group | U - Animal Holding Building | Section 312 |
| Construction Type | VB | Table 601 |
| Fire Protection System | Fully Sprinklered (per NFPA 13) | |
| Maximum Height | 2 Stories (80 Feet) | Tables 503.3, 503.4 |
| Actual Height | 1 Stories (Approx 14 Feet) | |
| Maximum Area per Code | 22,000 Sq. Ft. | Table 506.2 |
| Actual Area | | |
| First Floor | 1,068 Sq. Ft. | |
| Total Building Area | 1,068 Sq. Ft. | |
| Minimum Number of Exits | | |
| U - Animal Holding | 1 | Table 1006.2.1, 1006.3.2 Exceptions 1 and 2 |
| Maximum Distance to Exits | | |
| U - Animal Holding | 400 feet | Table 1017.2 |
| Fire Rating | | |
| Exit Corridors | 0 Hour | Table 1020.1 1023.2 |
| Exit Stairs | N/A | Table 602 |
| Exterior Walls (non-bearing) | 1 Hour | Table 601 |
| Interior Walls (non-bearing) | 0 Hour | Table 601 |
| Roof Systems | 0 Hour | Table 601 |
| Floor Systems | 0 Hour | Table 601 |
| Structural Members | 0 Hour | Table 601 |
| Elevator Hoistways & Shafts | N/A | 713.4 |
| Elevator Lobbies | N/A | 708.1 |
| Separation of Occupancies | N/A | Table 508.4 |
| Occupancy Load | Per Section 1004 "Occupant Load" | |
| Agricultural Building | 300 gross 4 | Table 1004.5 |
| Total Occupant Load | 4 Occupants | |
| Egress Width | | |
| Stair | 0.3' / occupant | Section 1005 |
| Other | 0.2' / occupant | |

| CODE PLAN LEGEND | |
|--------------------------|-------------|
| SMOKE PARTITION | ----- |
| 1/2 HOUR RATED PARTITION | - - - - - |
| 1 HOUR RATED PARTITION | ----- |
| 2 HOUR RATED PARTITION | - - - - - |
| 3 HOUR RATED PARTITION | ----- |
| EXIT TO GRADE | ← |
| EGRESS PATH | ● - - - - - |
| ACCESSIBLE ROUTE | Ⓐ - - - - - |
| FIRE EXTINGUISHER | FE FEC |
| EGRESS TAG | DOOR XXXX |
| ELEMENT WIDTH IN INCHES | 0 0 0 |
| ALLOWABLE LOAD | |
| ACTUAL LOAD | |

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|-----------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |



PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

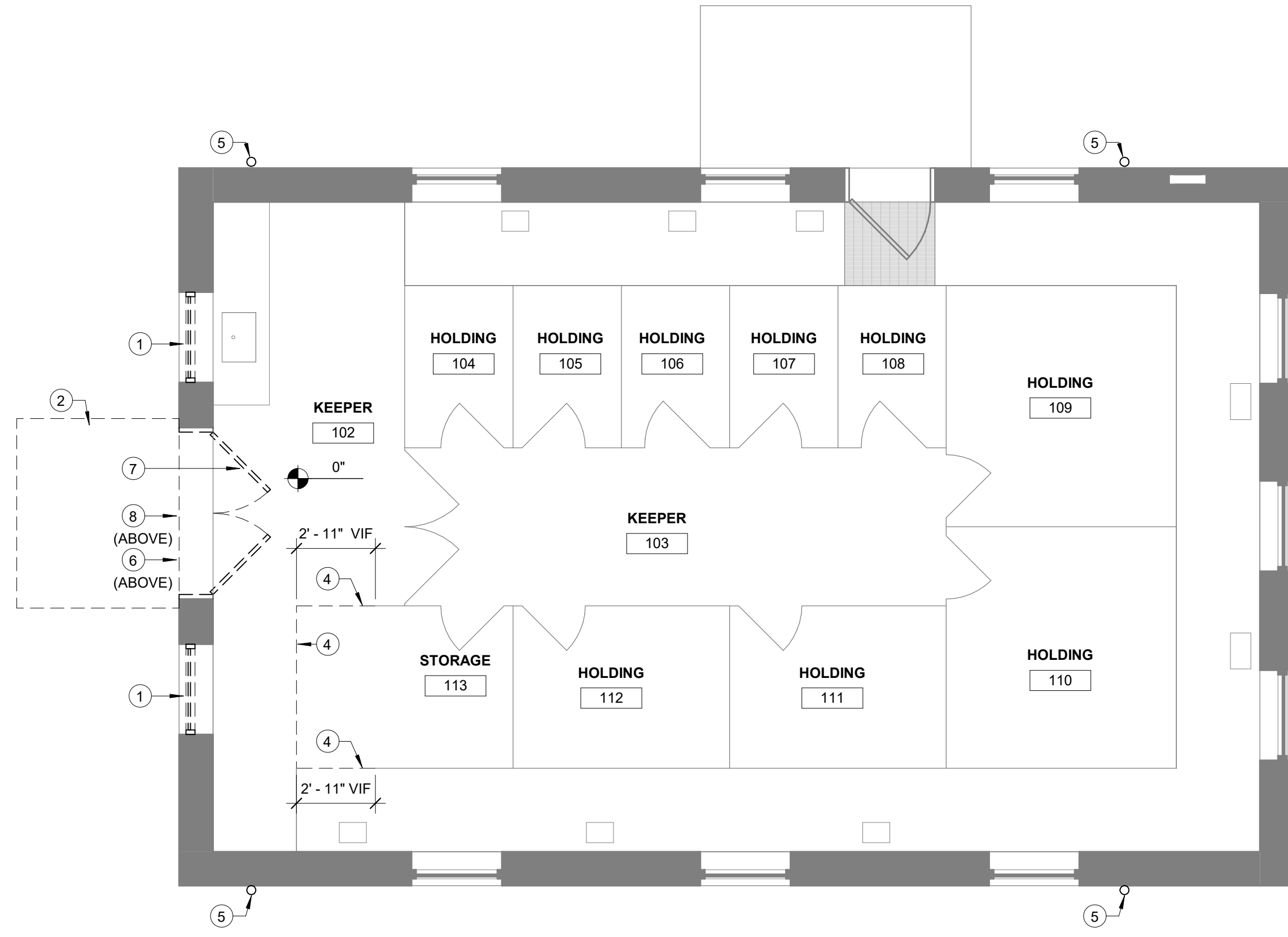
DRAWING TITLE
GENERAL NOTES AND CODE PLAN

| | |
|---------------|-------------|
| PROJECT NO. | DRAWING NO. |
| 71-19-4365-01 | |
| DATE | 06/07/19 |
| SCALE | AS NOTED |
| DRAWN BY | TL |
| CHECKED BY | CS |

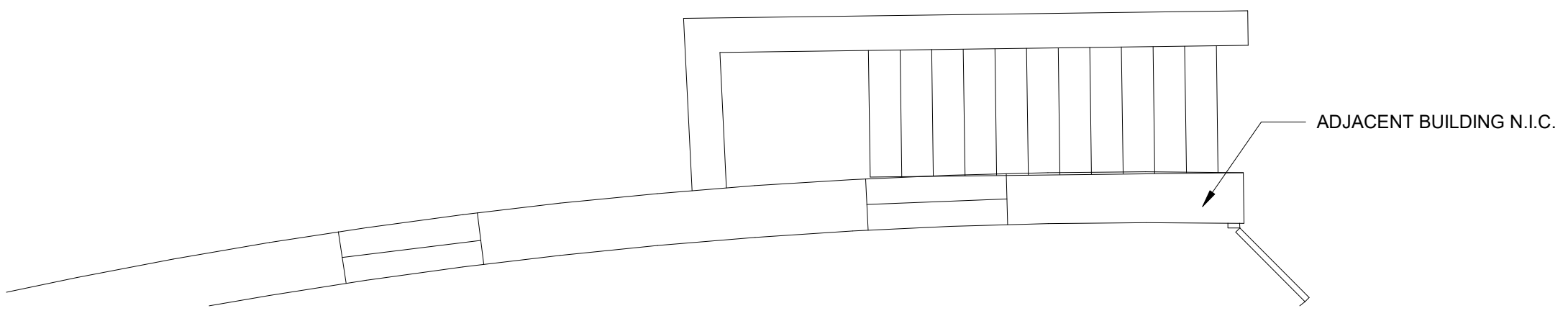
G1.0

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



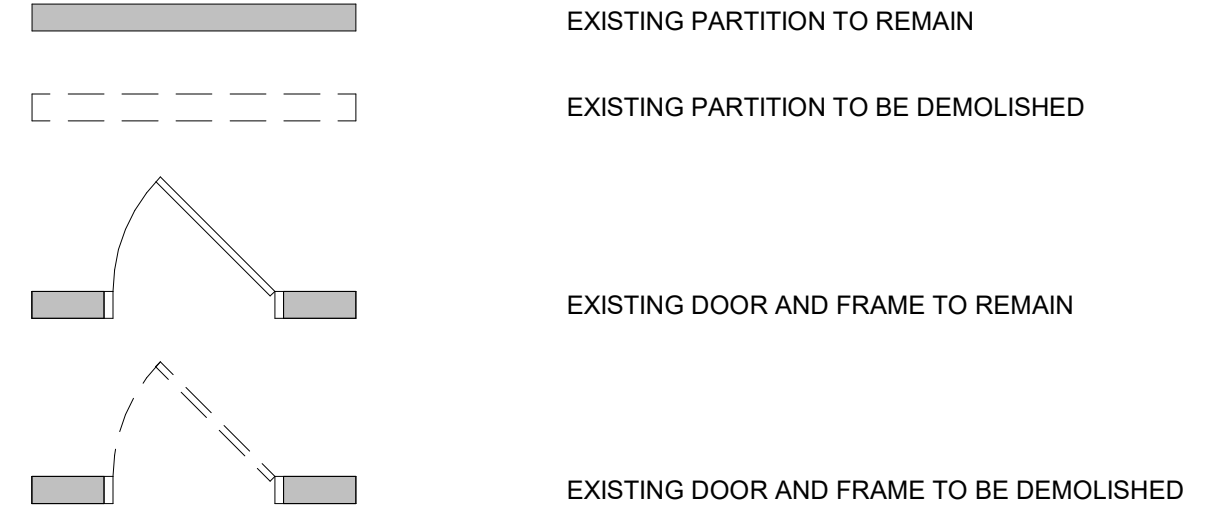
② FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



DEMOLITION GENERAL NOTES

- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. AS REQUIRED, PATCH & REPAIR ALL EXISTING SURFACES WHERE EQUIPMENT HAS BEEN REMOVED EITHER BY CONTRACTOR OR BY OTHERS, OR AS A RESULT OF DEMOLITION OF ADJACENT & ATTACHED CONSTRUCTION. PATCHING IS TO BE SMOOTH AND LEVEL WITH ADJACENT SURFACES TO REMAIN.
- AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS & WITHIN DEMISING WALLS, FLOORS & CEILINGS SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, REGULATIONS & ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
- DO NOT CLOSE OR OBSTRUCT FACILITIES OR INTERRUPT UTILITIES WITHOUT WRITTEN PERMISSION FROM & COORDINATION WITH OWNER & ALL AUTHORITIES HAVING JURISDICTION.
- GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN OPERATION OF BUILDING AND LIFE SAFETY SYSTEMS IN OCCUPIED AREAS DURING CONSTRUCTION. A CLEAR & UNOBSTRUCTED PATH IS TO BE MAINTAINED TO EGRESS EXITS DURING CONSTRUCTION.
- REFER TO ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION.

DEMOLITION PLAN LEGEND



DEMOLITION KEY NOTES

- REMOVE WINDOW AND INTERIOR SECURITY GRATE
- REMOVE CONCRETE SLAB
- NOT USED
- REMOVE PORTION OF CAGE PANEL TO ACCOMMODATE NEW CONFIGURATION. FIELD COORDINATE DIMENSIONS WITH NEW FLOOR PLAN.
- REMOVE DOWNSPOUT. GUTTER AND DOWNSPOUT BOOT TO REMAIN.
- REMOVE LOUVER AND FRAME.
- REMOVE HOLLOW METAL DOOR, FRAME, AND HARDWARE.
- REMOVE WALL PACK LIGHT FIXTURE - SEE ELEC DWGS FOR ADDITIONAL INFORMATION.

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**Small Primate Holding
Mechanical Upgrades**

DRAWING TITLE
PLANS

| | |
|------------------------------|----------------------------|
| PROJECT NO. 71-19-4365-01 | DRAWING NO. A1.1 |
| DATE 06/07/19 | |
| SCALE AS NOTED | |
| DRAWN BY TL | |
| CHECKED BY CS | |

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND INFORM ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCEMENT OF ALL WORK.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY THE ARCHITECT FOR VERIFICATION OF THE LAYOUT PRIOR TO PARTITION INSTALLATION.
- ALL WORK WILL CONFORM TO ALL APPLICABLE BUILDING REGULATIONS (STATE AND LOCAL). IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE A THOROUGH WORKING KNOWLEDGE OF ALL CODE ISSUES.
- CONTRACTOR SHALL VISIT THE PREMISES TO BECOME FAMILIAR WITH EXISTING CONDITIONS, VERIFY THE SCOPE OF WORK AND EVALUATE POTENTIAL PROBLEMS ATTENDANT TO ITS EXECUTION.
- THE SUBMISSION OF PRICING BY THE CONTRACTOR SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS. LATER ADDITIONAL COST CLAIMS FOR LABOR, EQUIPMENT, MATERIAL, AND HARDSHIP (EXCEPT FOR CONDITIONS CONCEALED) WILL NOT BE CONSIDERED.
- FOR INTERIOR DIMENSIONS: ALL DIMENSIONS ARE TO THE FINISHED FACE OF PARTITIONS, CENTERLINE OF COLUMNS, AND THE CENTERLINE OF MULLIONS, U.O.N.
- FOR EXTERIOR DIMENSIONS: ALL DIMENSIONS ARE TO THE EXTERIOR FACE OF STUDS, CENTERLINE OF COLUMNS, AND THE CENTERLINE OF MULLIONS, U.O.N.
- DIMENSIONS MARKED +/- MEAN A TOLERANCE OF NOT GREATER THAN 2 INCHES FROM INDICATED DIMENSION, UNLESS NOTED OTHERWISE.
- SET FINISH DOOR OPENINGS AT 6" FROM ADJACENT PERPENDICULAR PARTITION U.O.N.
- NEW CONSTRUCTION SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE INSTALLED FLUSH AND SMOOTH.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PATCHED, FINISHED SMOOTH AND PREPARED AS REQUIRED TO RECEIVE NEW FINISHES.
- PROVIDE CONCEALED BLOCKING IN ALL PARTITIONS WHEN MOUNTING HANDRAILS, GRAB BARS, CABINETS, SHELVING, COAT RODS AND SHELVES, COUNTERS AS WELL AS DOOR FRAMES AND HEADERS.
- FIRE-STOPPING IS REQUIRED AT ALL THRU-WALL/FLOOR PENETRATIONS. FIRE-RATING TO MATCH RESPECTIVE WALL/FLOOR.
- ALL EXPOSED STEEL SURFACES TO BE PAINTED, U.O.N.
- UNLESS OTHERWISE NOTED, ALL FIRE EXTINGUISHERS TO BE CENTERED ON WALL LENGTH OR CENTERED BETWEEN COLUMNS AS SHOWN ON PLAN OR 18" FROM NEAREST ADJACENT CORNER OR DOOR AS SHOWN. PROVIDE FIRE EXTINGUISHERS IN QUANTITY REQUIRED BY CODE.

REFLECTED CEILING PLAN LEGEND

| | |
|--|---|
| | TYPE A: 2X4 ACOUSTICAL PANEL CEILING SYSTEM: ARMSTRONG CERAMAGUARD IN 15/16" PRELUDE XL SUSPENSION SYSTEM OR APPROVED EQUAL |
| | TYPE A: WALL MOUNTED LINEAR LED: LEDALITE TRUGROOVE 2925LBDWW04_DEW MOUNT AT 6"-8" TO BOTTOM OF FIXTURE AFF |
| | TYPE B: LED WALL PACK WITH FULL CUT-OFF: GARDCO 121-16L-530-WW-G3-TYPE 3-EBPC-UNV-PCB-BZ |
| | TYPE C: LINEAR LED UTILITY FIXTURE: DAY-BRITE/CFI FLUXSTREAM FSSEZ-440L-835-UNV |
| | TYPE X: EXIT SIGN: EVENLITE RZR3-EM-G-1-WH-1B |

NOTE: FIXTURES LISTED ARE BASIS-OF-DESIGN.

REVISIONS

| ISSUE | DATE | REVISIONS |
|----------|------|------------------------|
| 03/18/19 | | ISSUED FOR REVIEW |
| 04/22/19 | | ISSUED FOR DPP REVIEW |
| 06/07/19 | | ISSUED FOR CITY REVIEW |



PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades
DRAWING TITLE
PLANS

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

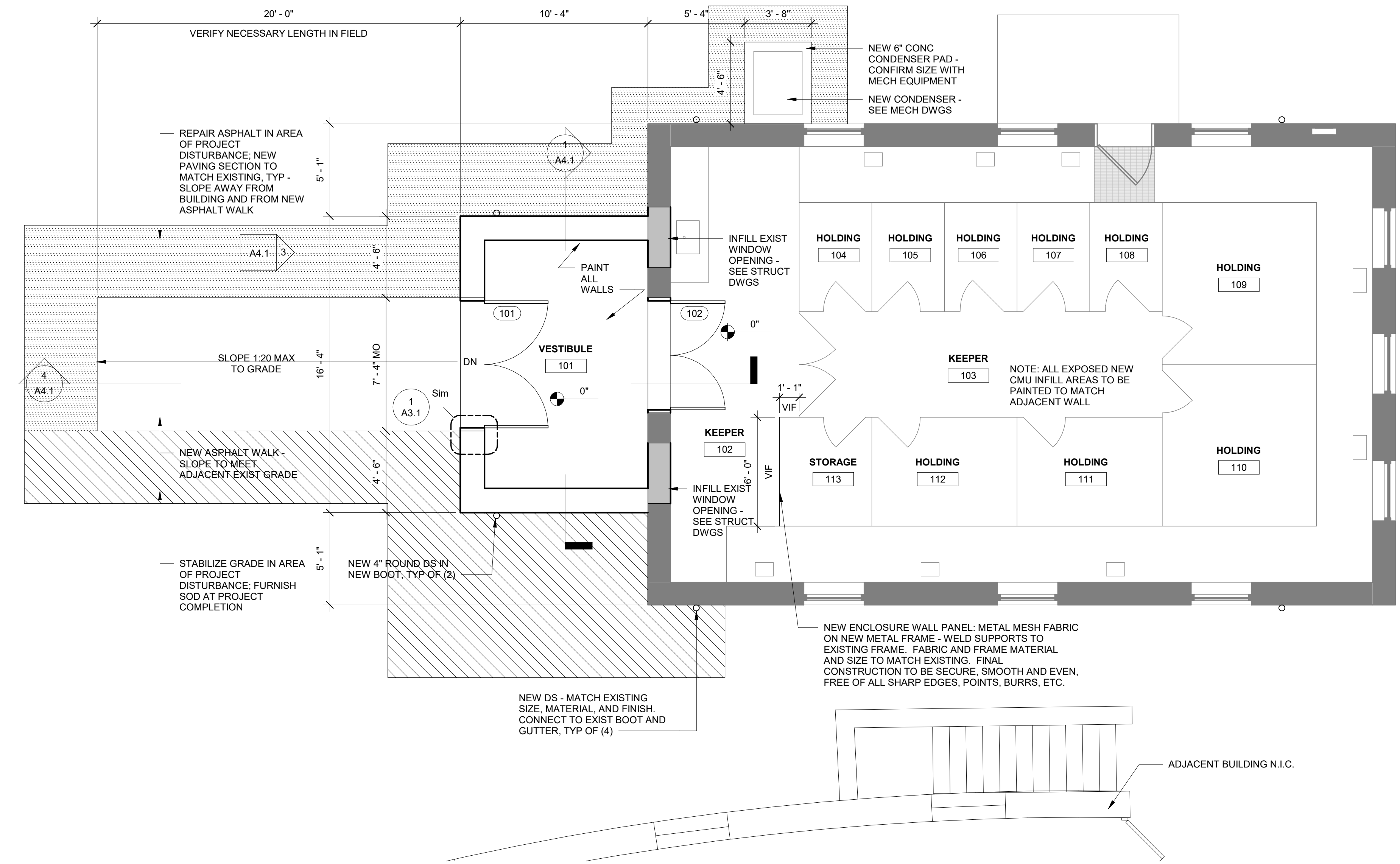
DRAWN BY
TL

CHECKED BY
CS

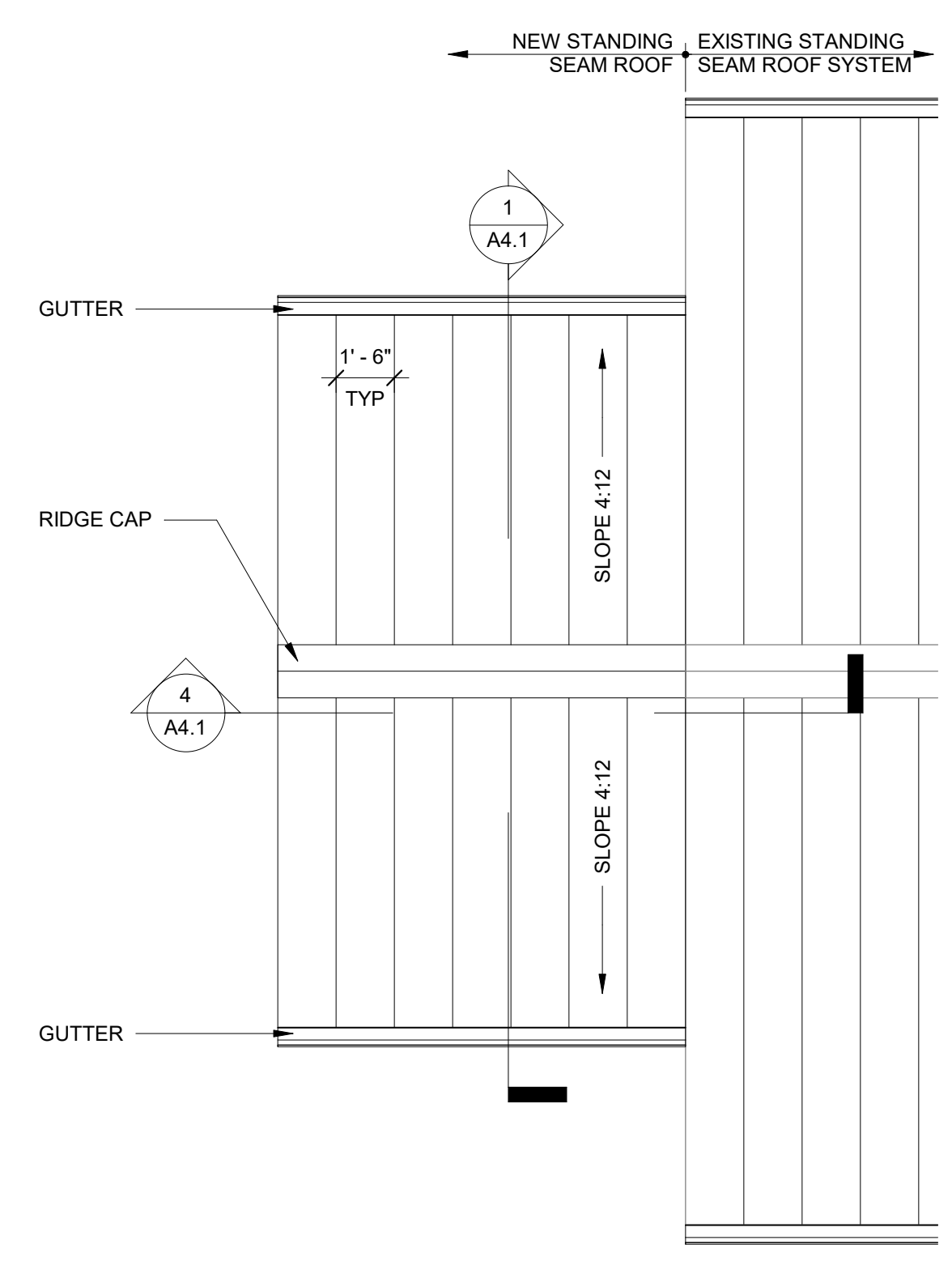
A1.2

NOT FOR CONSTRUCTION

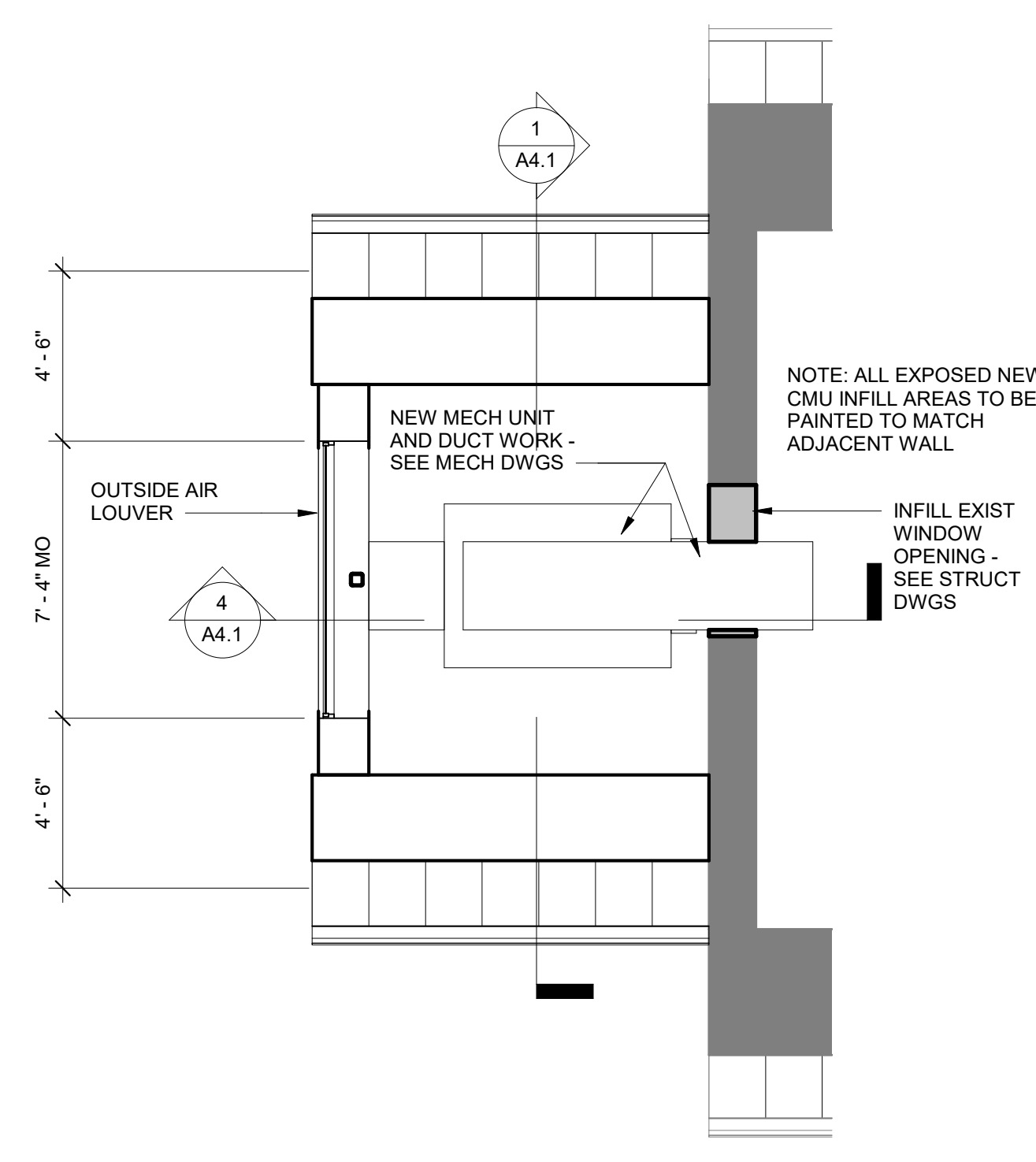
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



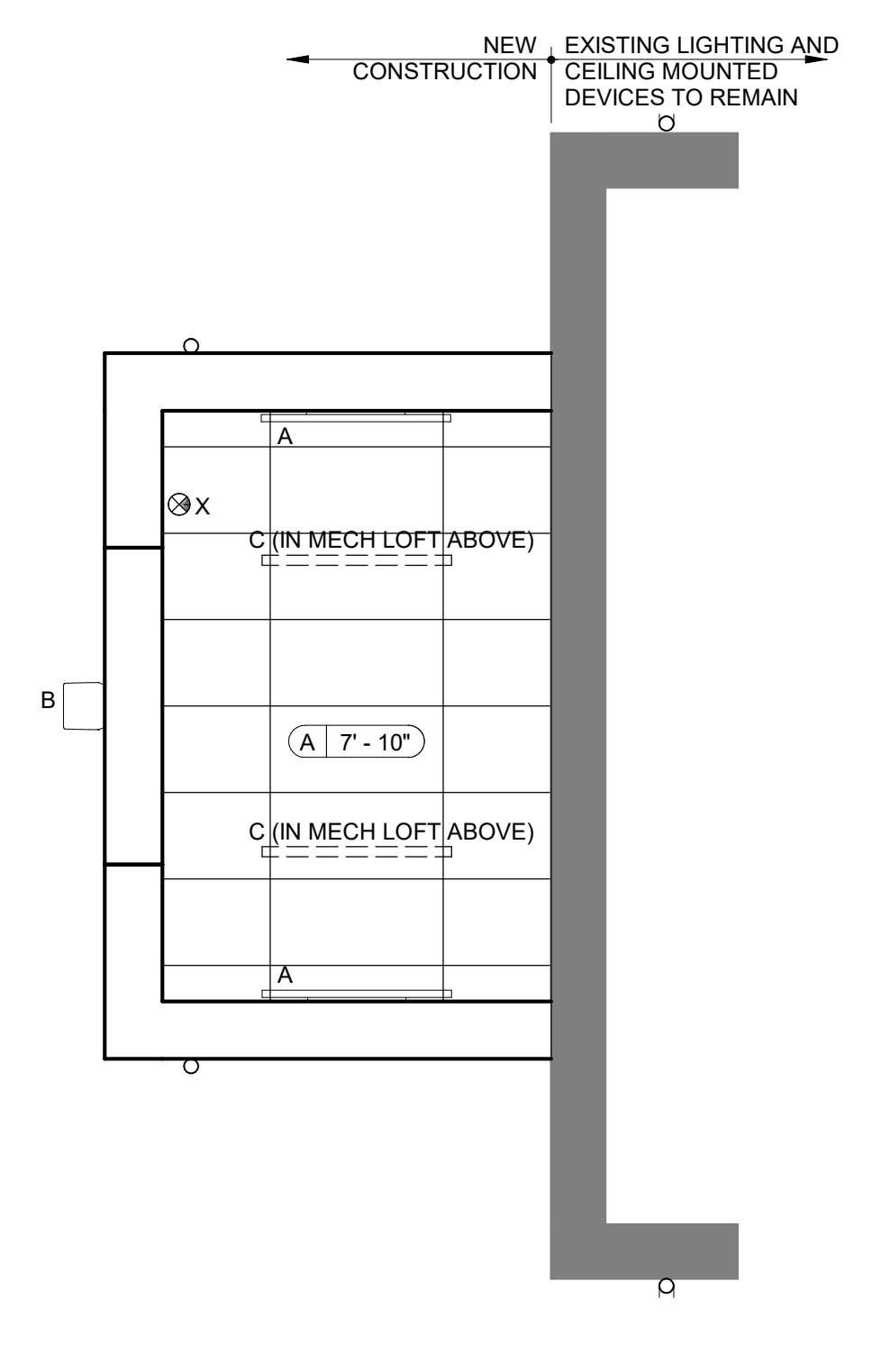
4 FIRST FLOOR PLAN
1/4" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"



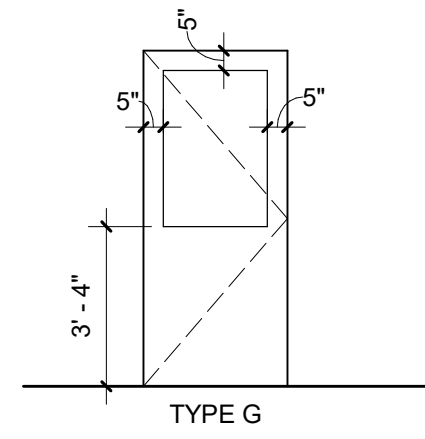
2 MECHANICAL LOFT PLAN
1/4" = 1'-0"



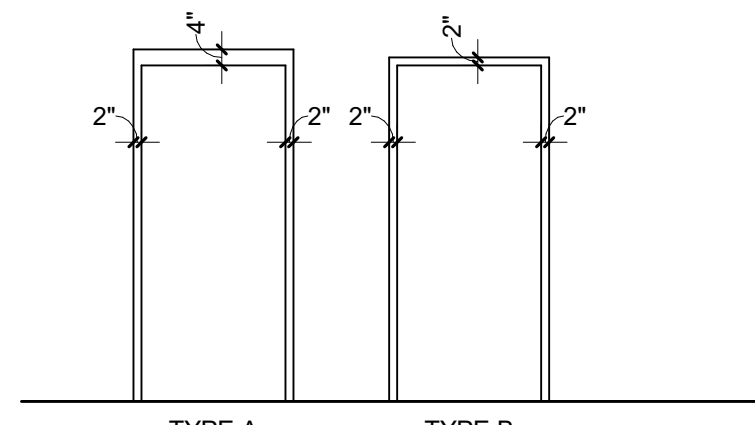
1 PARTIAL REFLECTED CEILING PLAN
1/4" = 1'-0"

6/19/2019 10:56:41 AM

| DOOR SCHEDULE | | | | | | | | | | | | | | |
|---------------|----------|-----------|---------------|-----------|---------|---------|------------|--------|-------------|------|------------|----------|----------|--------|
| Level | DOOR NO. | DOOR TYPE | ROOM LOCATION | | DOOR | | | | FRAME | | | HARDWARE | COMMENTS | |
| | | | NUMBER | NAME | WIDTH | HEIGHT | MATERIAL | FINISH | FIRE RATING | TYPE | MATERIAL | | | FINISH |
| FIRST FLOOR | 101 | 2G | 101 | VESTIBULE | 7' - 0" | 7' - 0" | FIBERGLASS | PRE | -- | B | FIBERGLASS | PRE | 1 | |
| FIRST FLOOR | 102 | 2G | 102 | KEEPER | 6' - 0" | 7' - 0" | FIBERGLASS | PRE | -- | A | FIBERGLASS | PRE | 2 | |



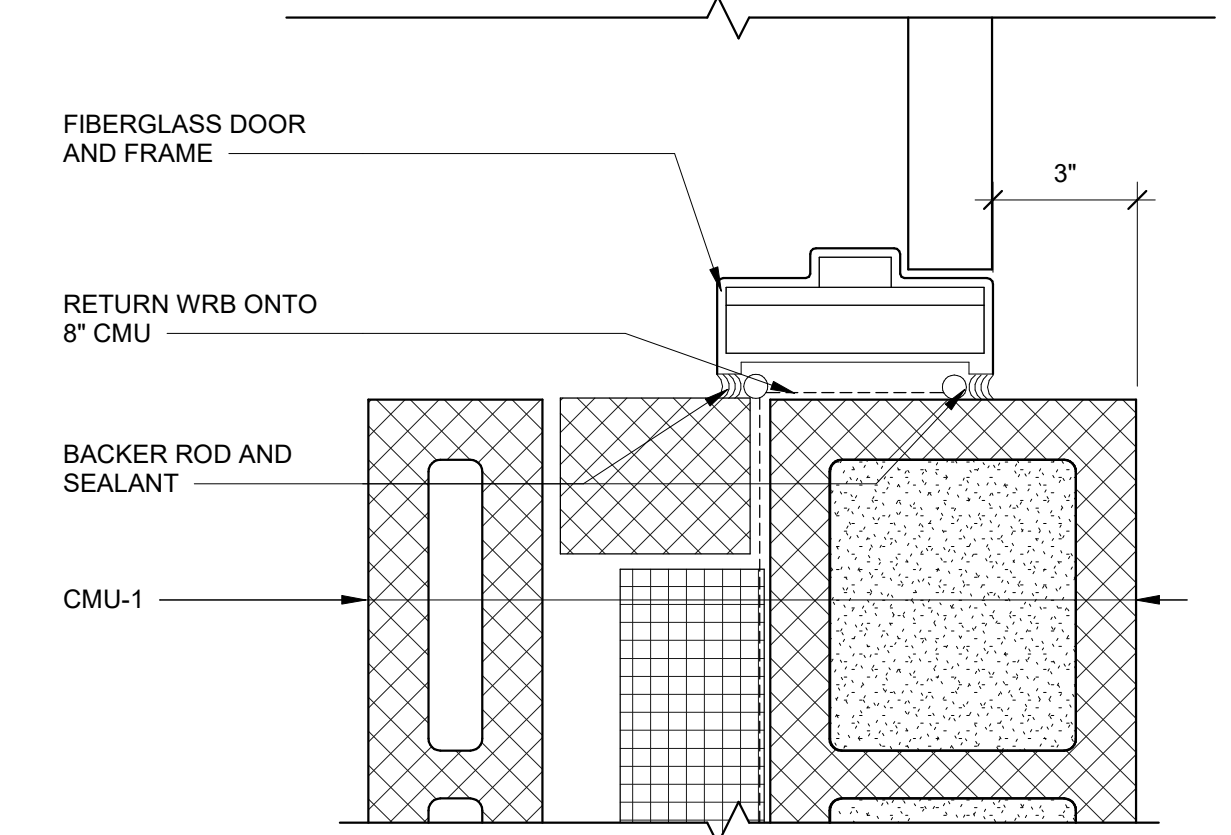
○ DOOR TYPE
1/4" = 1'-0"



○ FRAME TYPES
1/4" = 1'-0"

DOOR AND FRAME NOTES

- REFER TO SPEC FOR DOOR & FRAME GAUGES, ANCHORS, AND REINFORCEMENT.
- ALL DOOR GLAZING TO BE 1/4" SAFETY GLASS U/GN.
- PAIRED DOOR TYPES ARE INDICATED BY NOTING "2" IN FRONT OF A DOOR TYPE, E.G. 2F IS A PAIRED TYPE F (FLUSH) DOOR.
- SCHEDULE DESIGNATIONS AS FOLLOWS:
 GL - GLASS
 AL - ALUMINUM
 RWD - RESIDENTIAL WOOD
 PRE - PREFINISHED
 PTD - PAINTED, OPAQUE FINISH
 STN - STAINED, TRANSPARENT FINISH
 FOR OTHER DESIGNATIONS, REFER TO ABBREVIATIONS LIST.



① DOOR JAMB IN CMU ON CMU
3" = 1'-0"

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|-----------------------|
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**Small Primate Holding
Mechanical Upgrades**

DRAWING TITLE
DOORS

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

DRAWN BY
TL

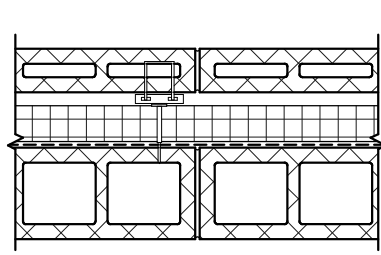
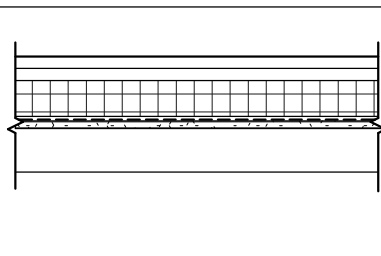
CHECKED BY
CS

A3.1

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

WALL ASSEMBLY LEGEND

| | | |
|-------|--|---|
| CMU-1 | CMU WALL: <ul style="list-style-type: none"> 3 5/8" SPLIT FACED CMU 1 3/4" AIR SPACE 3" XPS INSULATION BOARD FLUID APPLIED VAPOR PERMEABLE WEATHER BARRIER 8" CMU |  |
| MP-1 | METAL PANEL WALL: <ul style="list-style-type: none"> 1" METAL PANEL 1" AIR SPACE 3" XPS INSULATION BOARD BETWEEN Z GIRT FRAMING FLUID APPLIED VAPOR PERMEABLE WEATHER BARRIER 5/8" EXT GWB SHEATHING 3 5/8" MTL STUDS |  |

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|-----------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |



PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

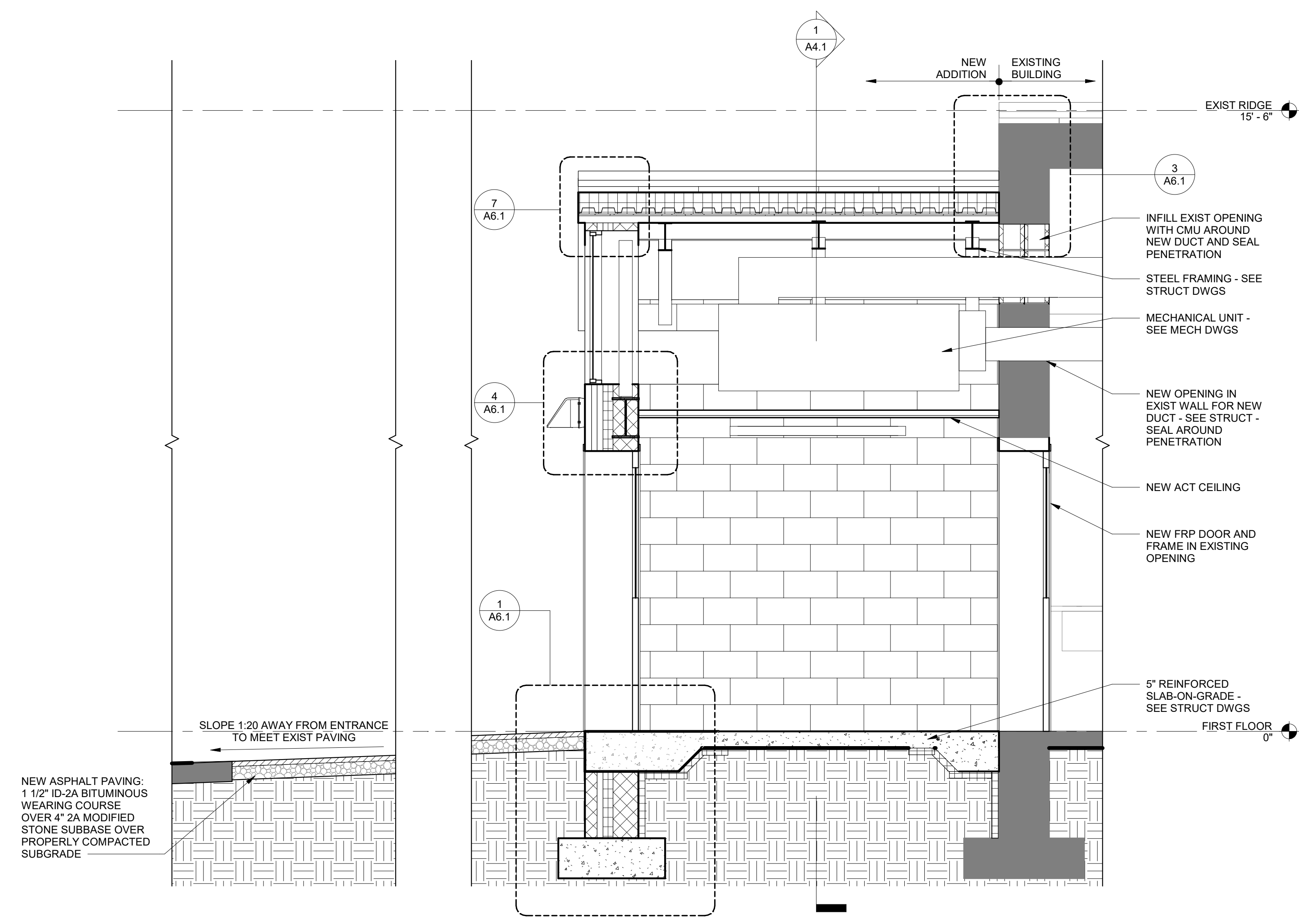
PROJECT TITLE
Small Primate Holding Mechanical Upgrades
DRAWING TITLE
ELEVATIONS AND SECTIONS

PROJECT NO.
71-19-4365-01
DATE
06/07/19
SCALE
AS NOTED
DRAWN BY
TL
CHECKED BY
CS

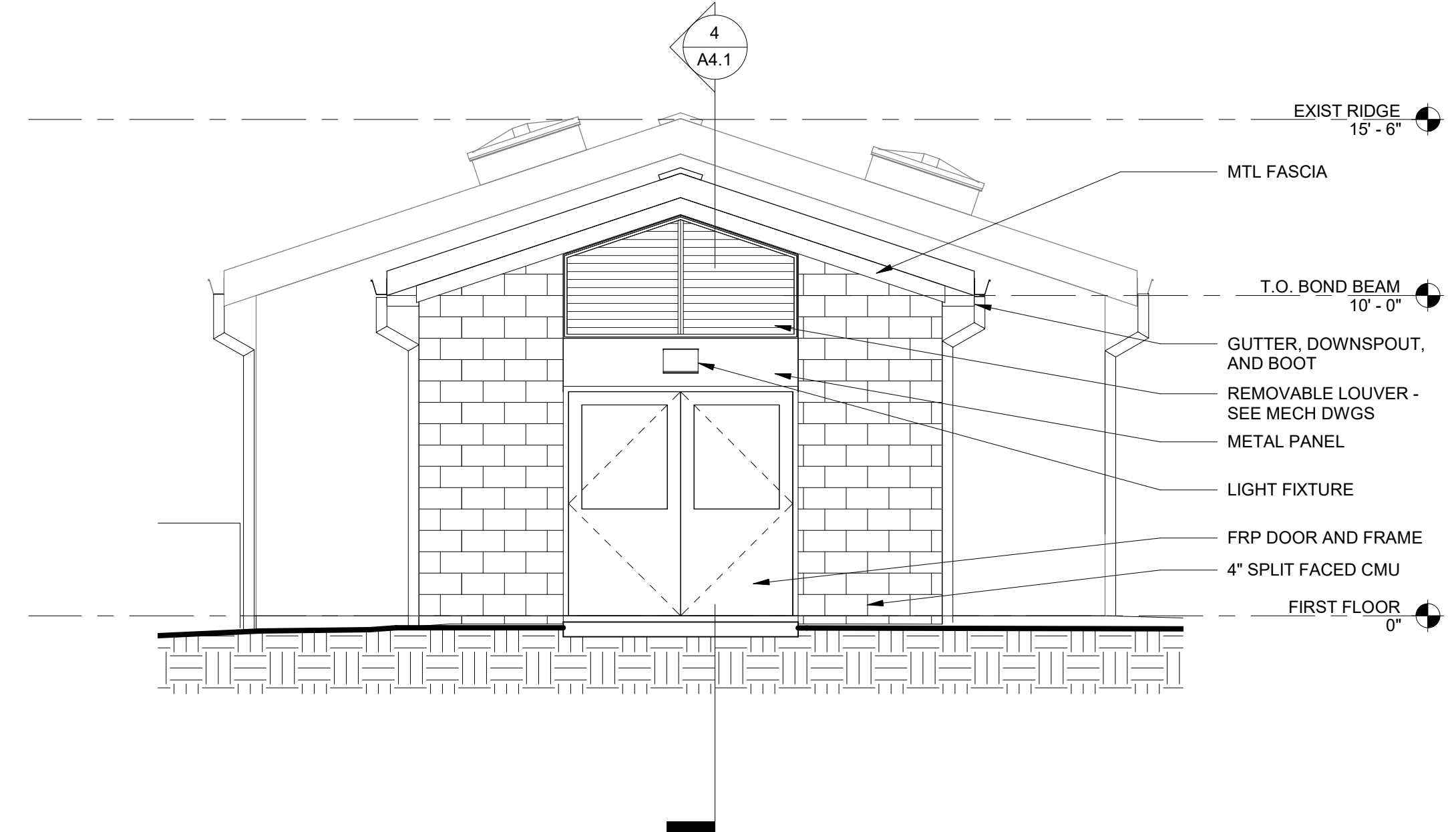
A4.1

NOT FOR CONSTRUCTION

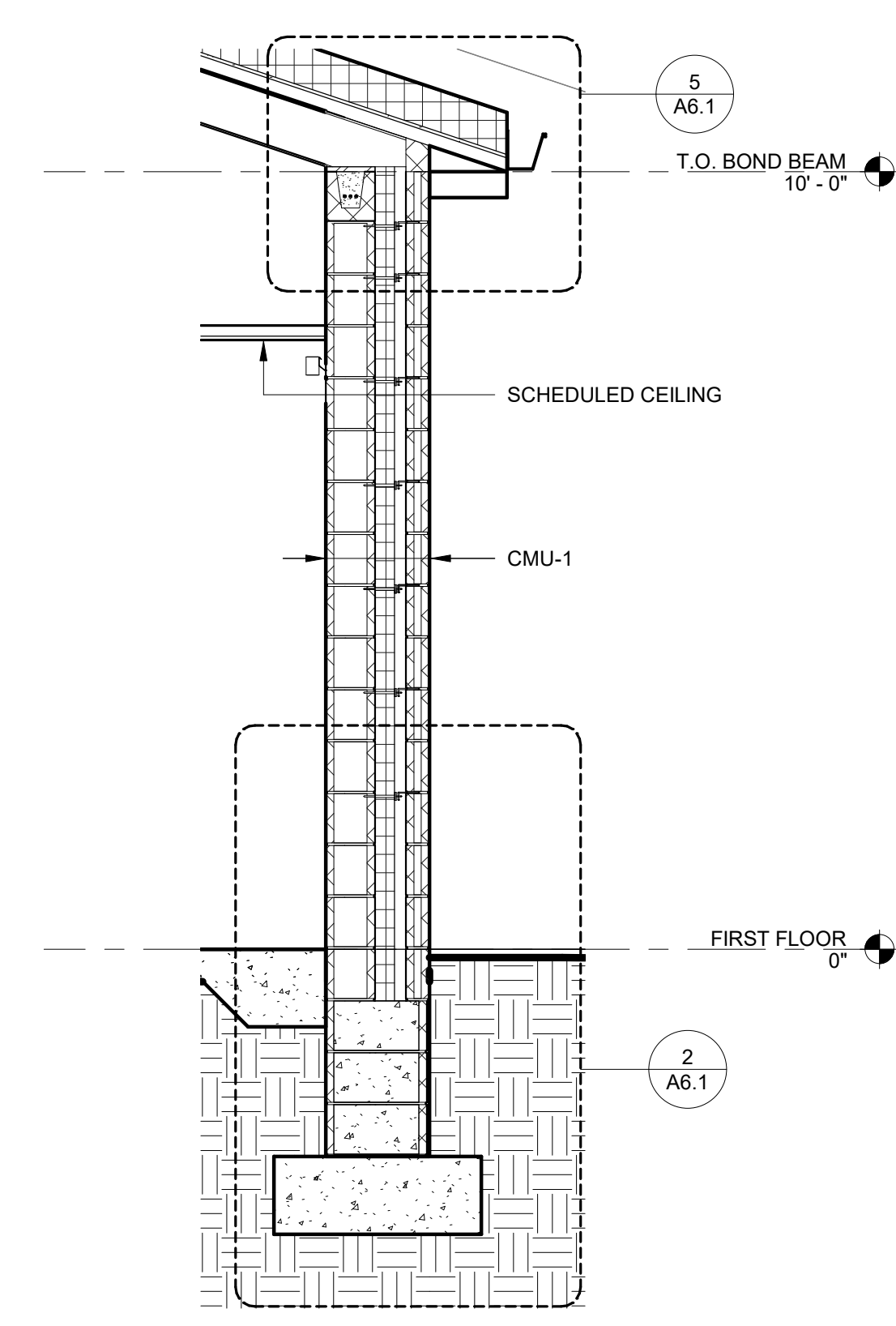
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



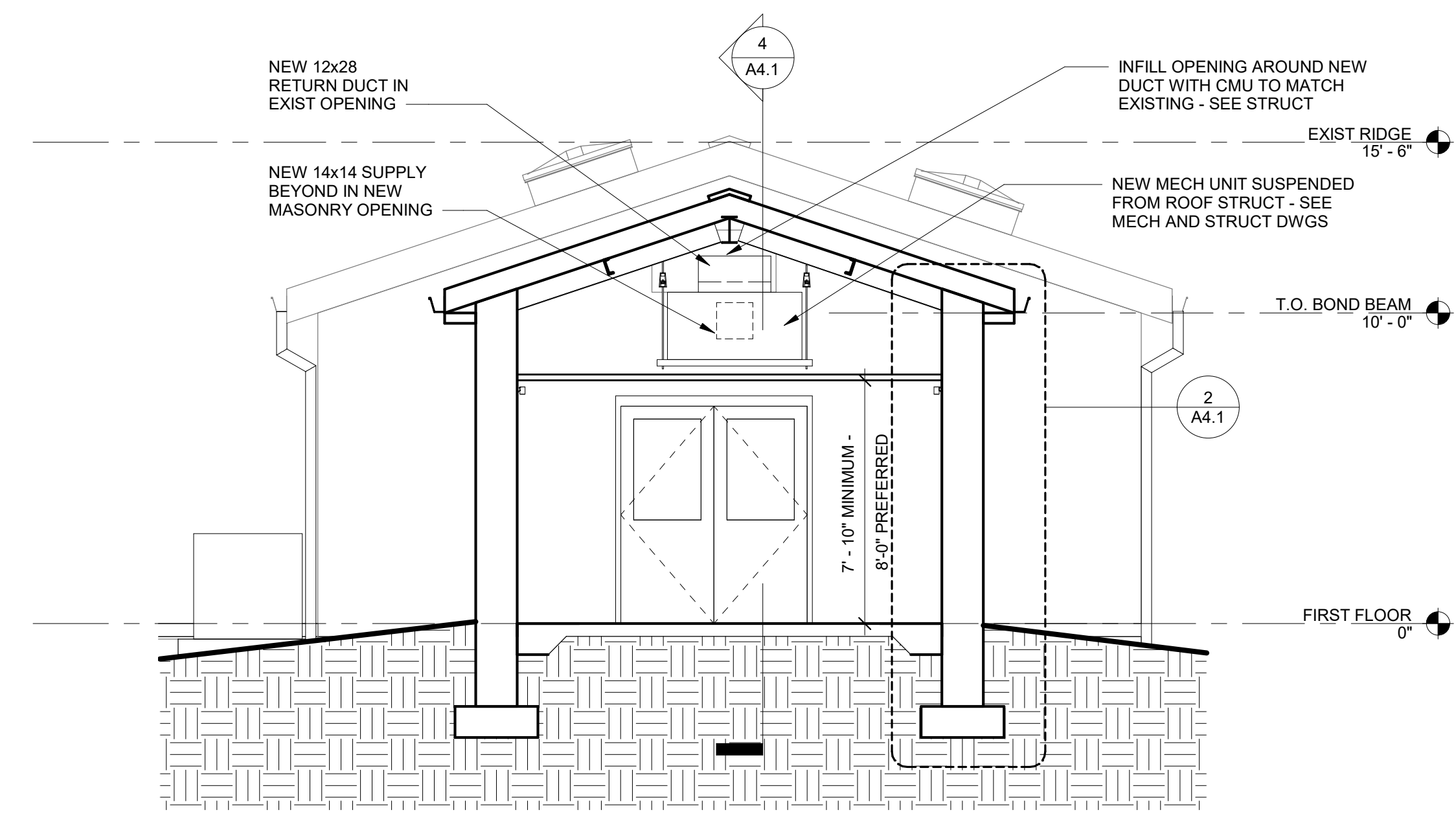
4 SECTION AT DOOR
1/2" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



2 SECTION AT EAVE
1/2" = 1'-0"



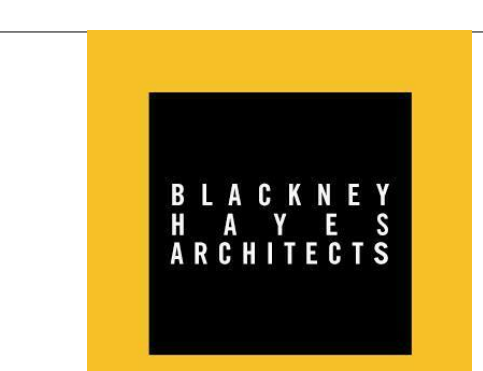
1 BUILDING SECTION
1/4" = 1'-0"

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|-----------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |



PROJECT COORDINATOR:
SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

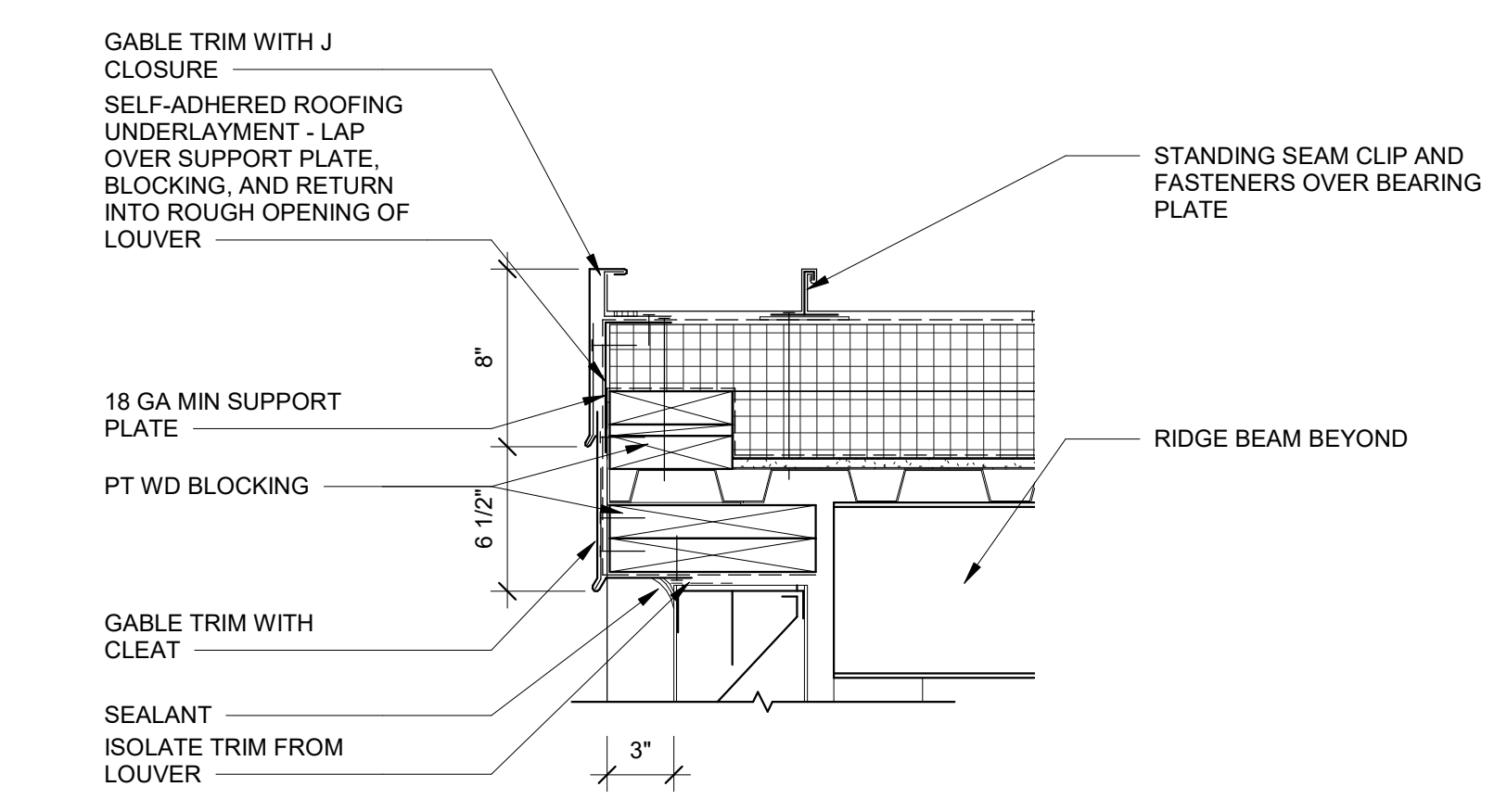
PROJECT TITLE
Small Primate Holding Mechanical Upgrades
DRAWING TITLE
EXTERIOR DETAILS

PROJECT NO.
71-19-4365-01
DATE
06/07/19
SCALE
AS NOTED
DRAWN BY
TL
CHECKED BY
CS

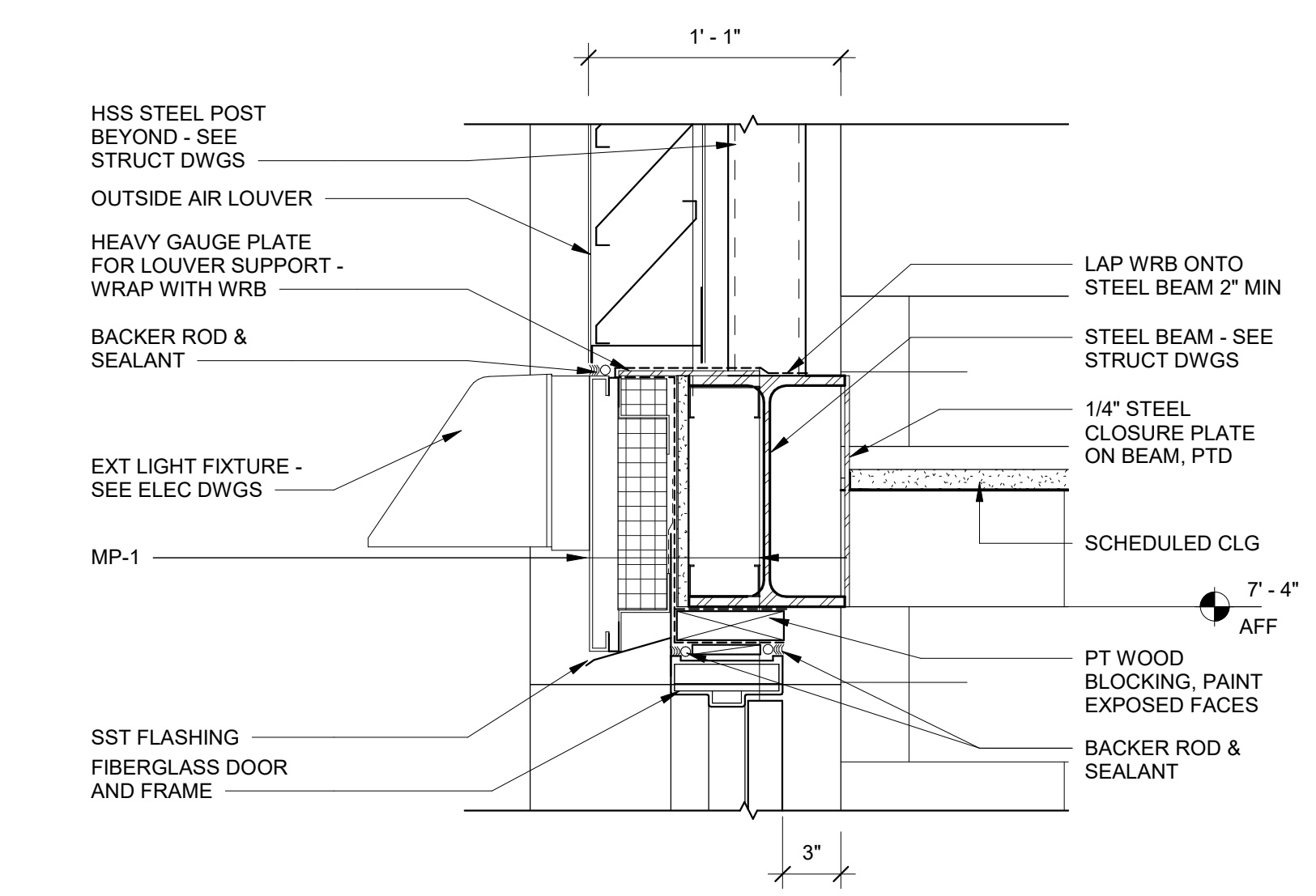
NOT FOR CONSTRUCTION

A6.1

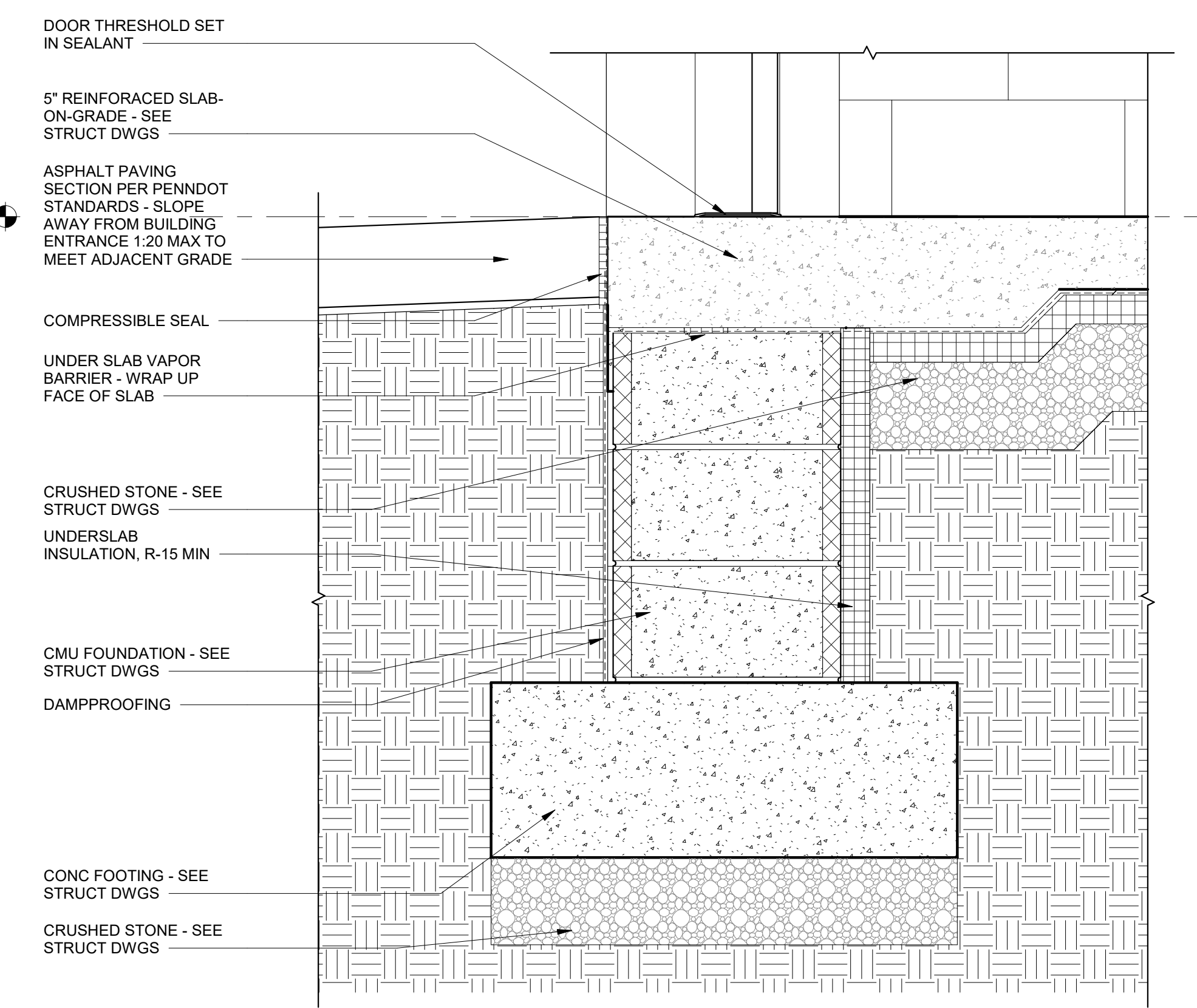
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



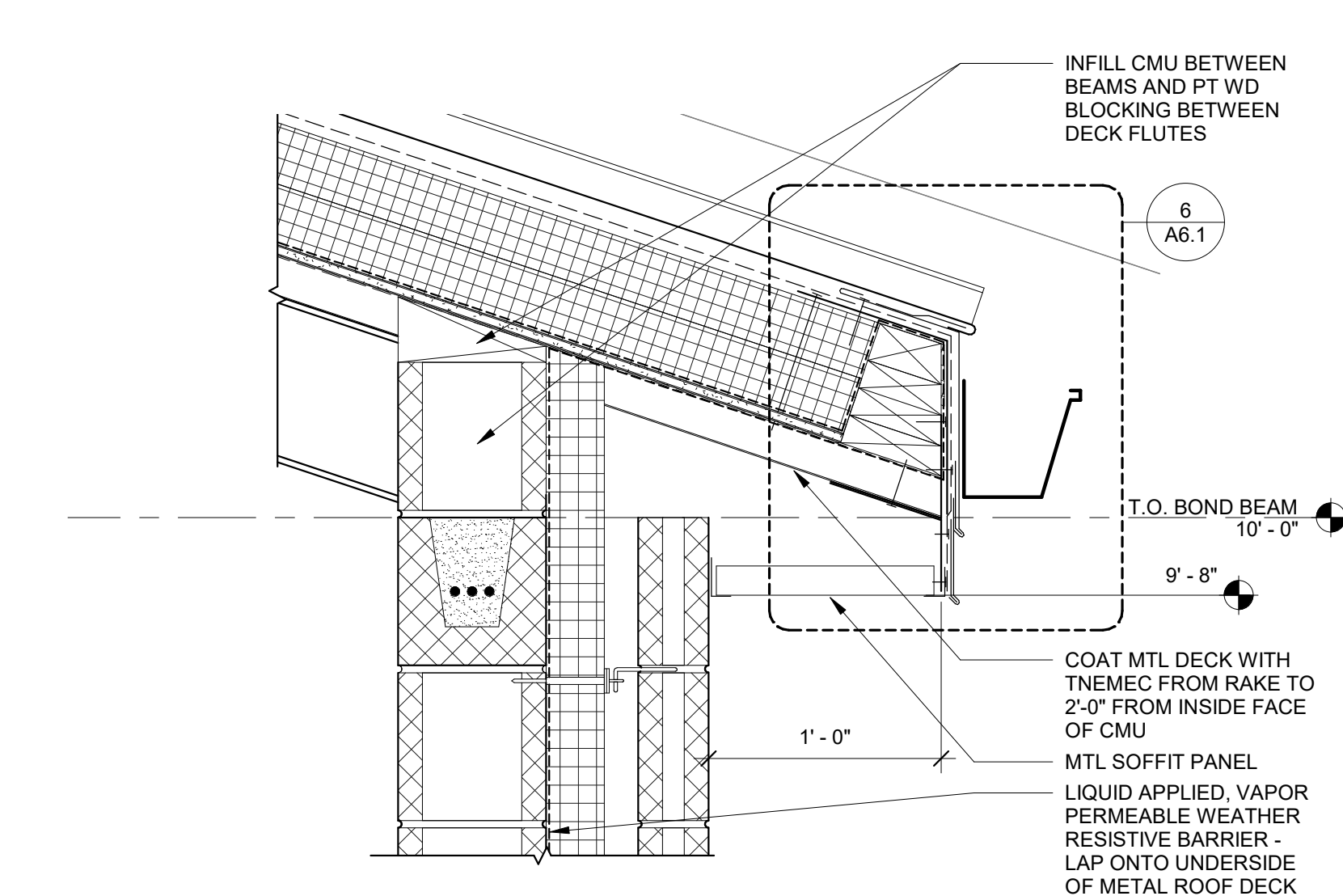
7 RAKE AT LOUVER
1 1/2" = 1'-0"



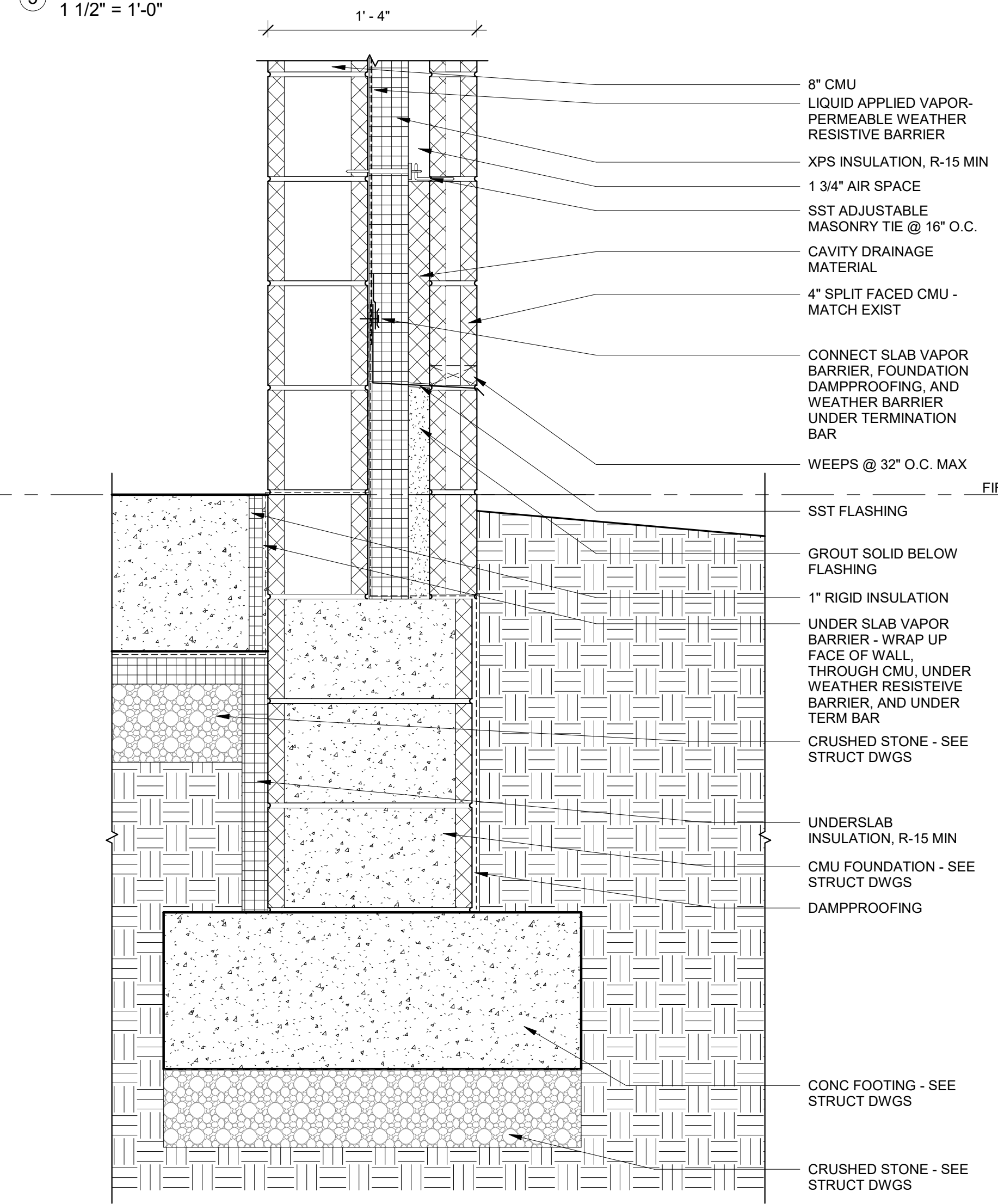
4 DOOR HEAD AT MP-1
1 1/2" = 1'-0"



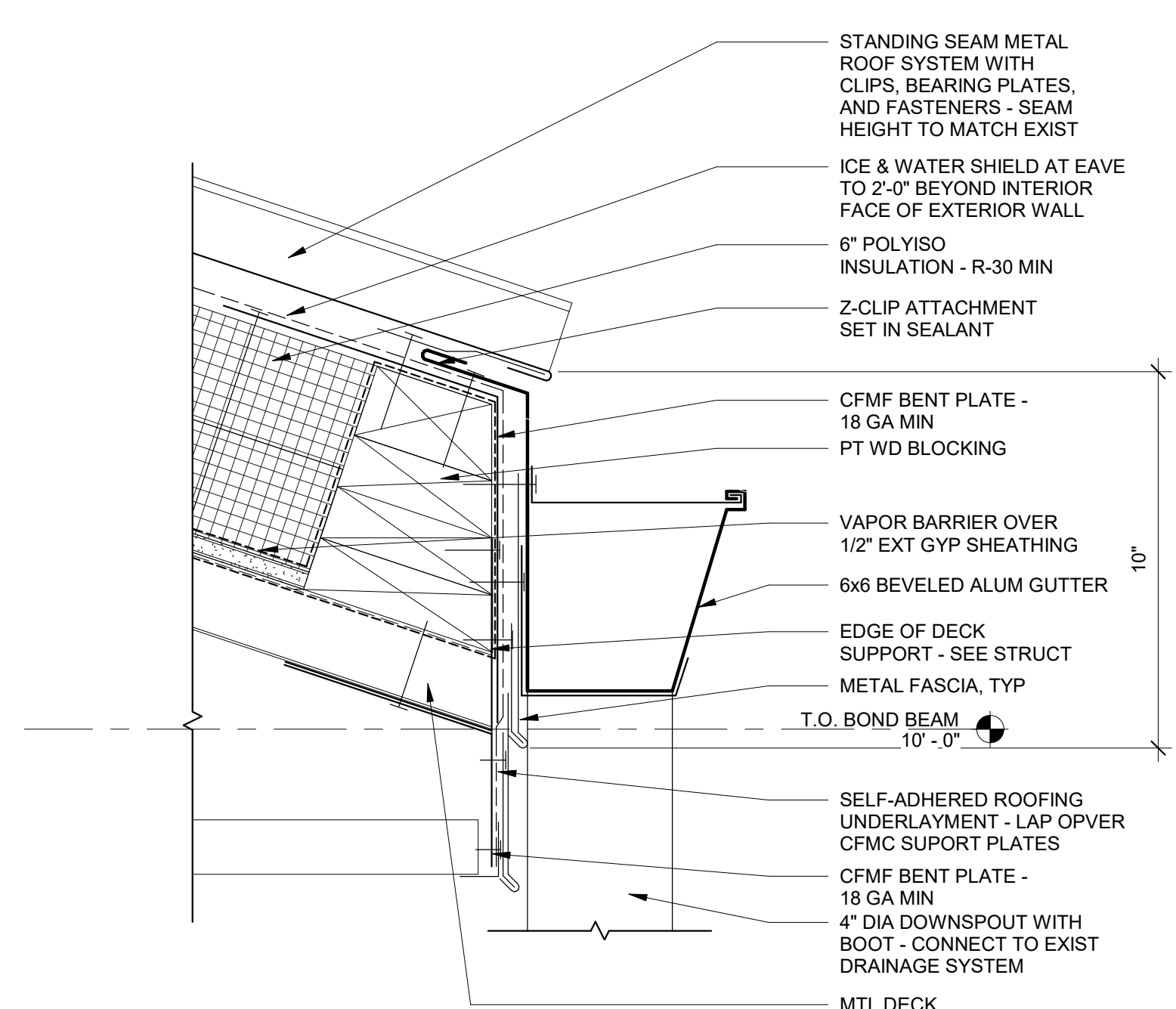
1 FOUNDATION AT DOOR
1 1/2" = 1'-0"



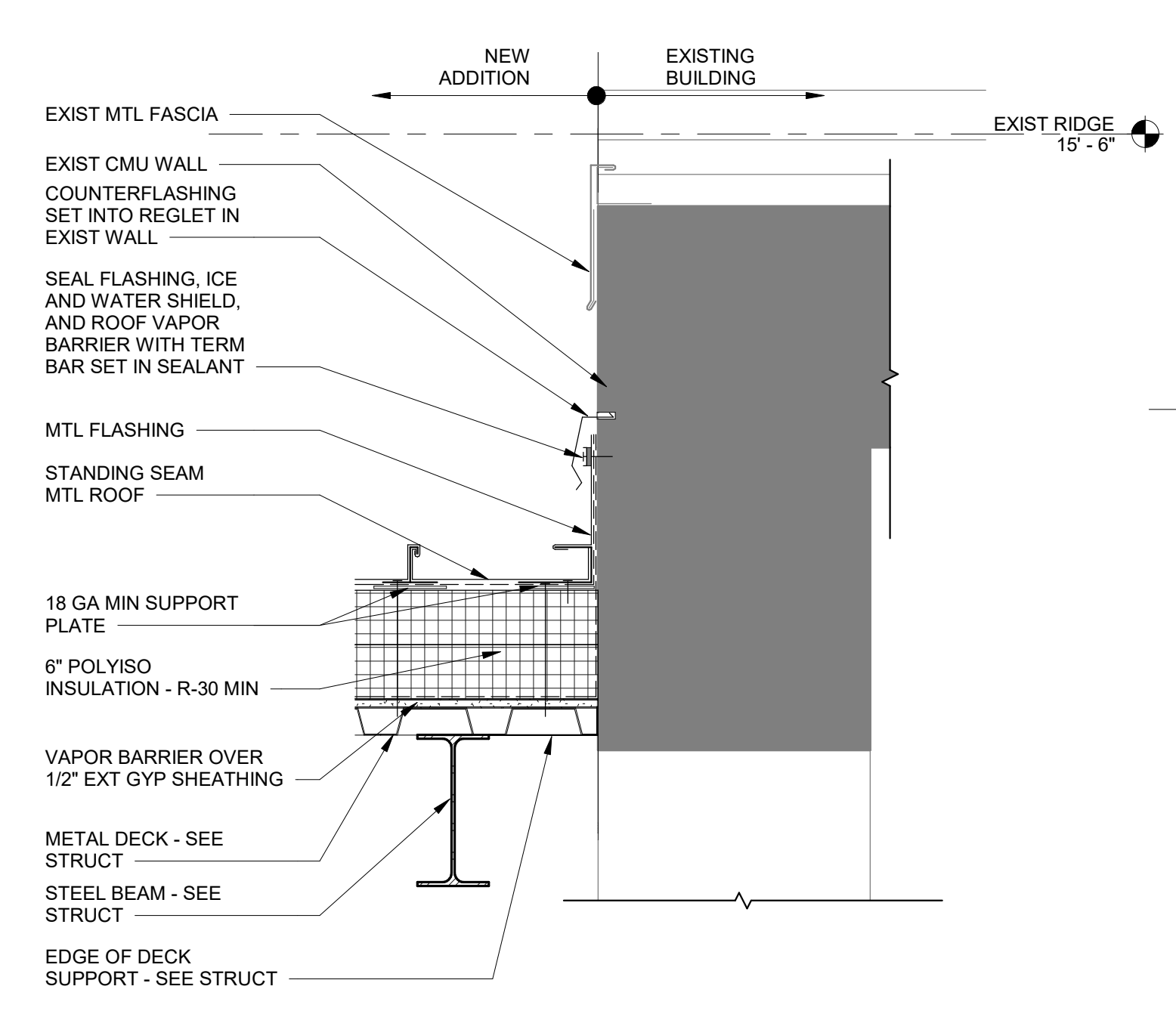
5 EAVE AT 4" CMU
1 1/2" = 1'-0"



2 FOUNDATION AT 4" CMU
1 1/2" = 1'-0"

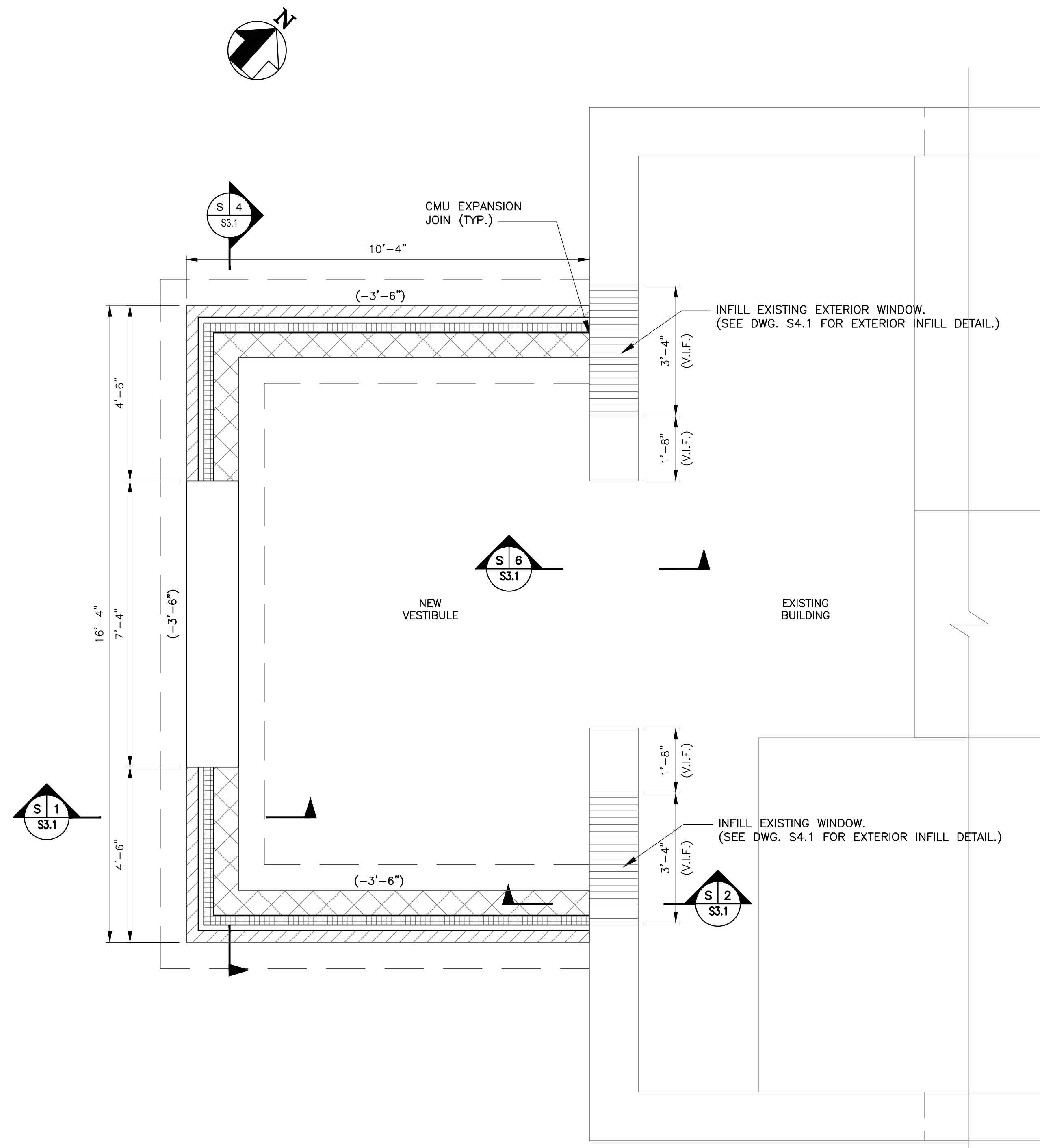


6 FASCIA AND GUTTER DETAIL
3" = 1'-0"

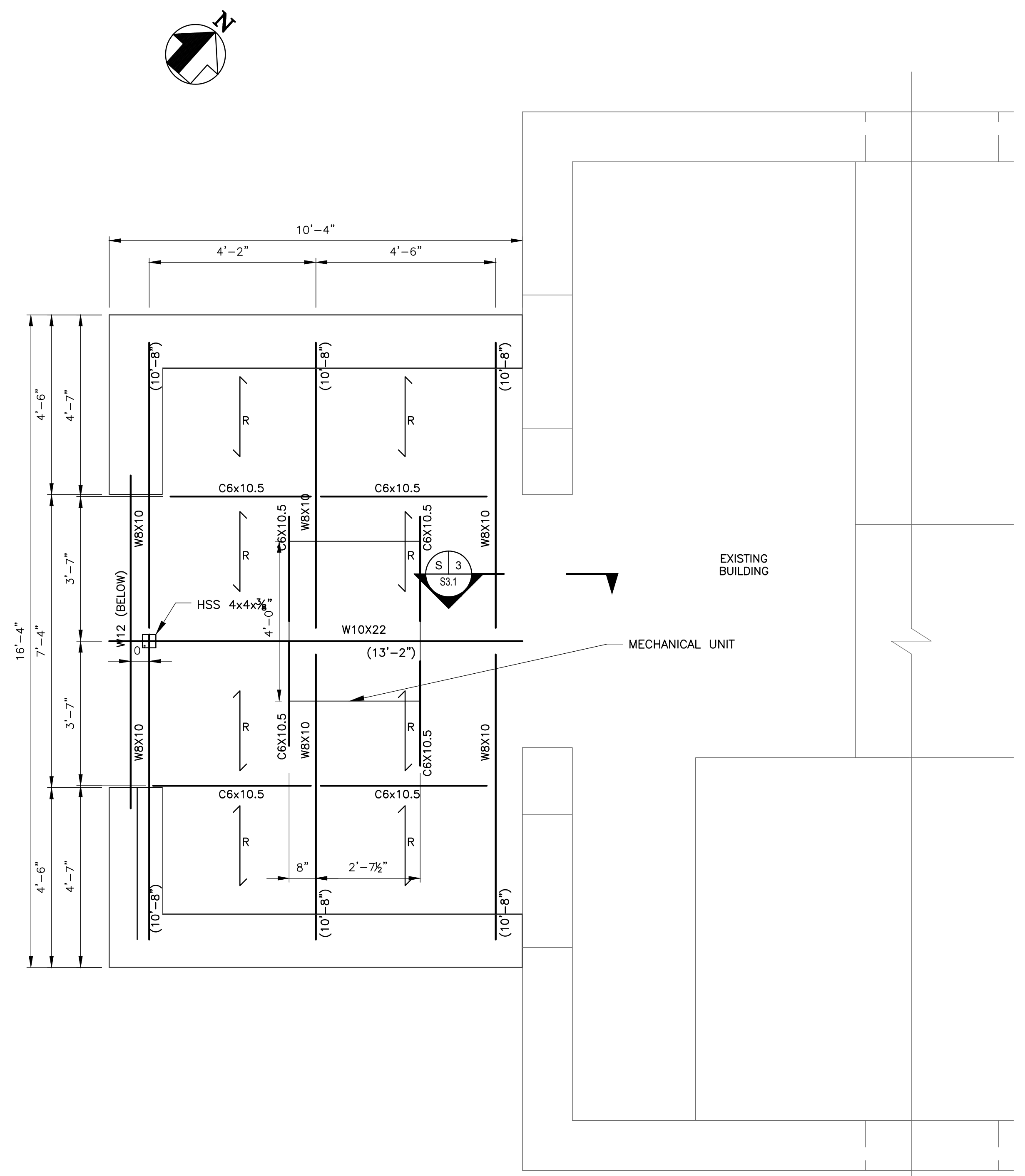
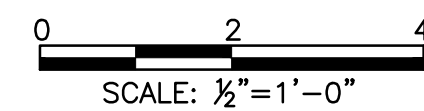


3 ROOF TO EXIST WALL
1 1/2" = 1'-0"

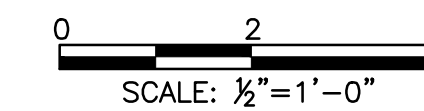
6/19/2019 10:56:47 AM



SMALL PRIMATE BUILDING VESTIBULE FOUNDATION PLAN



SMALL PRIMATE BUILDING VESTIBULE ROOF PLAN



NOTES:

- PRIMATE BUILDING ADDITION IS DEVELOPED BASED ON EXISTING DRAWINGS S1 (DATED 11/1/96).
- TOP OF CONCRETE SLAB DATUM (0'-0"). ALL ELEVATIONS SHOWN THUS (-3'-6") ARE IN RELATION TO THE DATUM.
- FLOOR SLAB SHALL BE 5" SLAB ON GRADE REINFORCEMENT WITH WWF 6x6-W2.9xW2.9 WELDED WIRE FABRIC.
- SUBGRADE SOILS BELOW SLAB SHALL BE PROOFROLLED AND CERTIFIED BY A SOILS ENGINEERS AS ACCEPTABLE BEFORE PLACEMENT OF GRAVEL OR CONCRETE.
- SLAB ON GRADE SHALL BE SAWCUT AT MAXIMUM SPACING OF 15'. JOINT MUST BE CUT WITHIN 12 HOURS AFTER PLACEMENT OF SLAB, WITHOUT CAUSING DAMAGE TO CONCRETE.
- ROOF DECK SHALL BE 2" TYPE N, 18 GA DECK.
- TOTAL WT OF AHU IS 453# HUNG FROM STEEL.
- FOOTINGS SHALL BEAR ON UNDISTURBED STRATUM OR ENGINEERED FILL WITH A MINIMUM BEARING CAPACITY OF 2000 PSF.
- WIDE FLANGE SHAPES: ASTM A992, GRADE 50.
STRUCTURAL SHAPES & PLATES: ASTM A36.
STEEL PIPE: ASTM A53, GRADE B.
STEEL TUBING (SQUARE OR RECT.): ASTM A500, A1085.
(ROUND): ASTM A501, A1085.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE 28 DAY STRENGTH AS FOLLOWS:
TYPE F'C (PSI)
FOOTINGS 3000
SLAB-ON-GRADE 3000
AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE.
- ALL CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90, WITH MINIMUM COMPRESSIVE STRENGTH OF UNITS = 1,900 PSI ON NET AREA, UNDER TYPE N OR S MORTAR WITH ASSUMED DESIGN COMPRESSIVE STRENGTH, f'm = 1,500 PSI. FABRICATE UNITS WITH LIGHTWEIGHT AGGREGATE (C331).

LEGEND:

- 8" CMU WALL (LOAD BEARING)
- 4" CMU VENEER
- EXTERIOR INFILL
- ROOF DECK SPAN

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



KSE ENGINEERS, P.C. | Engineers • Surveyors • Construction Managers
494 Broad Street, 4th Floor, Newark, N.J. 07102
Phone: (973)623-2999, Fax: (973)623-2988

PROJECT COORDINATOR
MARC OROVIAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades
DRAWING TITLE
FOUNDATION AND ROOF PLAN

PROJECT NO.
71-19-4365-01
DRAWING NO.
S2.1
DATE
04/19/19
SCALE
AS NOTED
DRAWN BY
H.D./V.S.
CHECKED BY
S.C.

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



KSE ENGINEERS, P.C.
 Engineers • Surveyors • Construction Managers
 494 Broad Street, 4th Floor, Newark, N.J. 07102
 Phone: (973)623-2999, Fax: (973)623-2988

PROJECT COORDINATOR
 MARC GRODVAN

SEALS

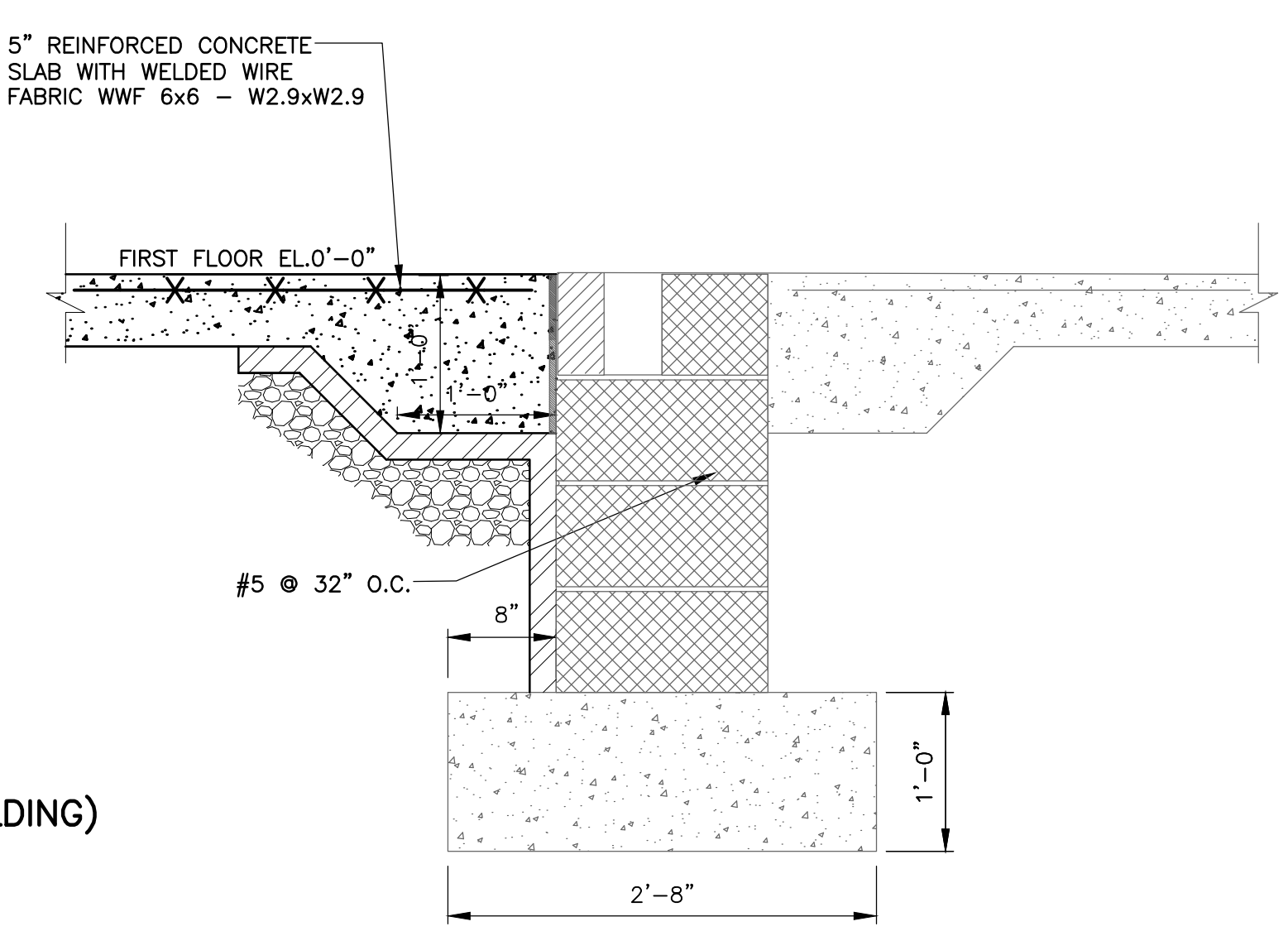
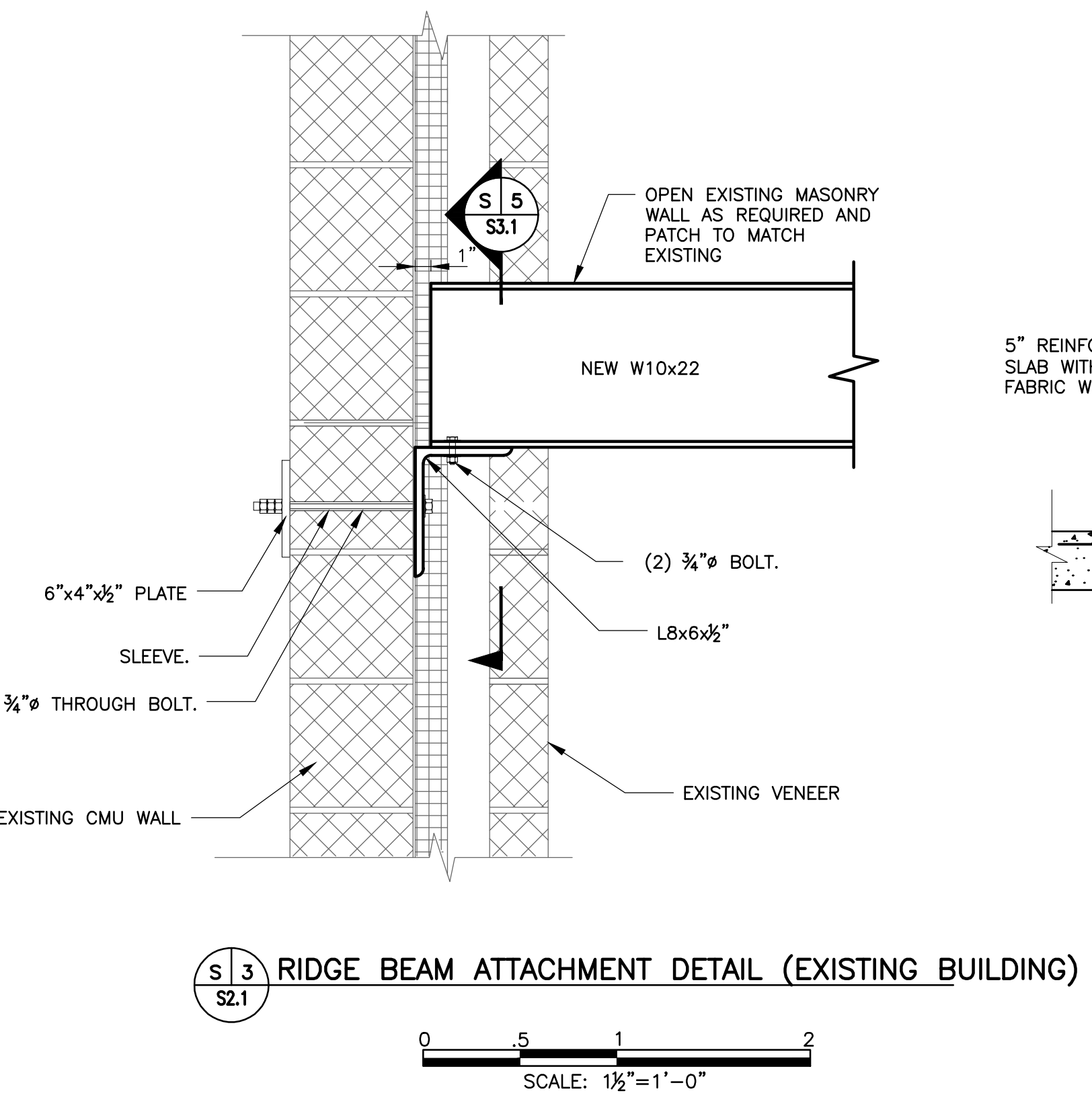
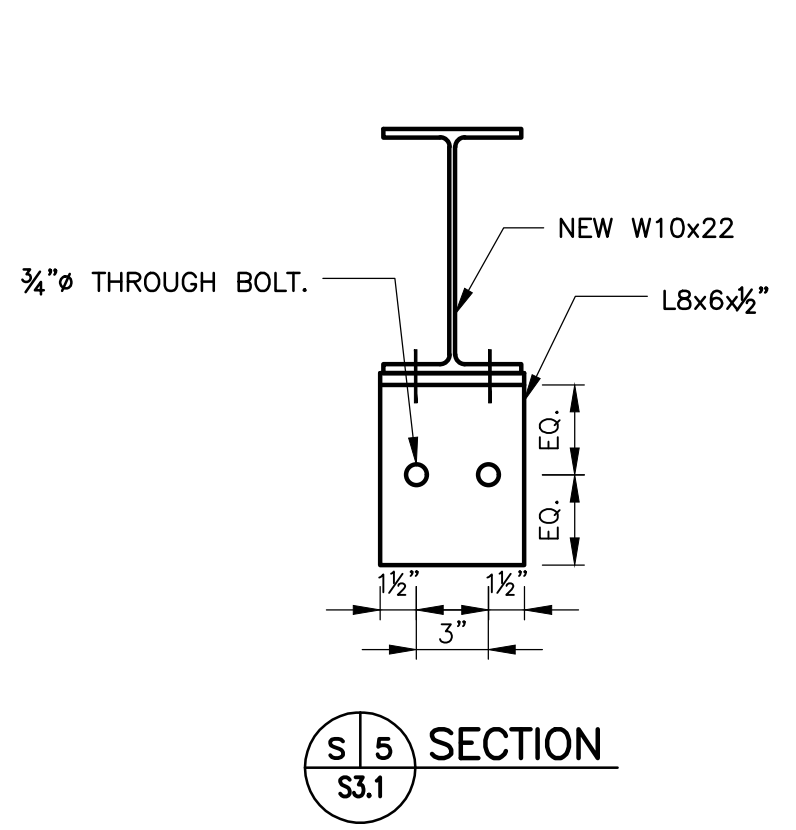
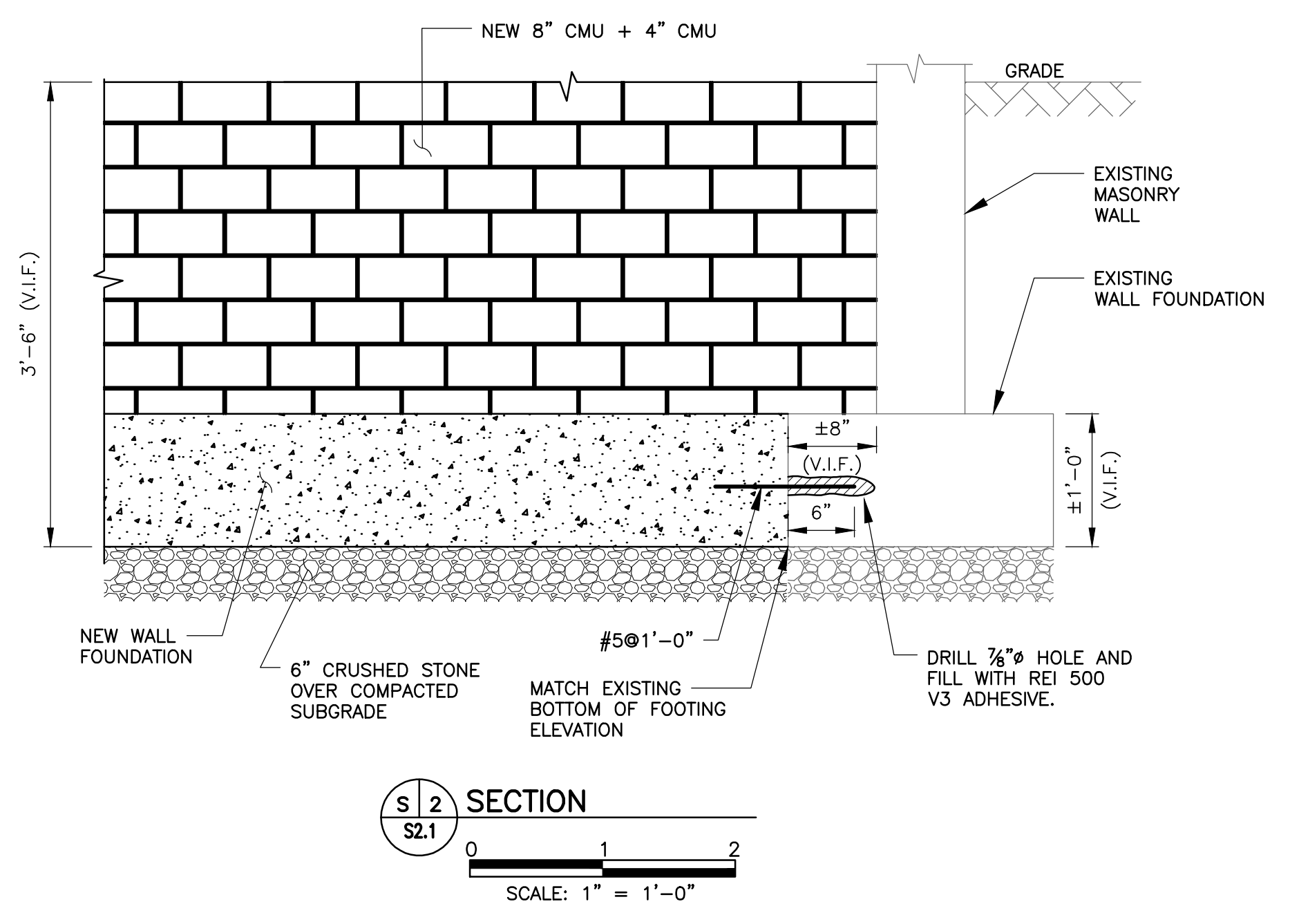
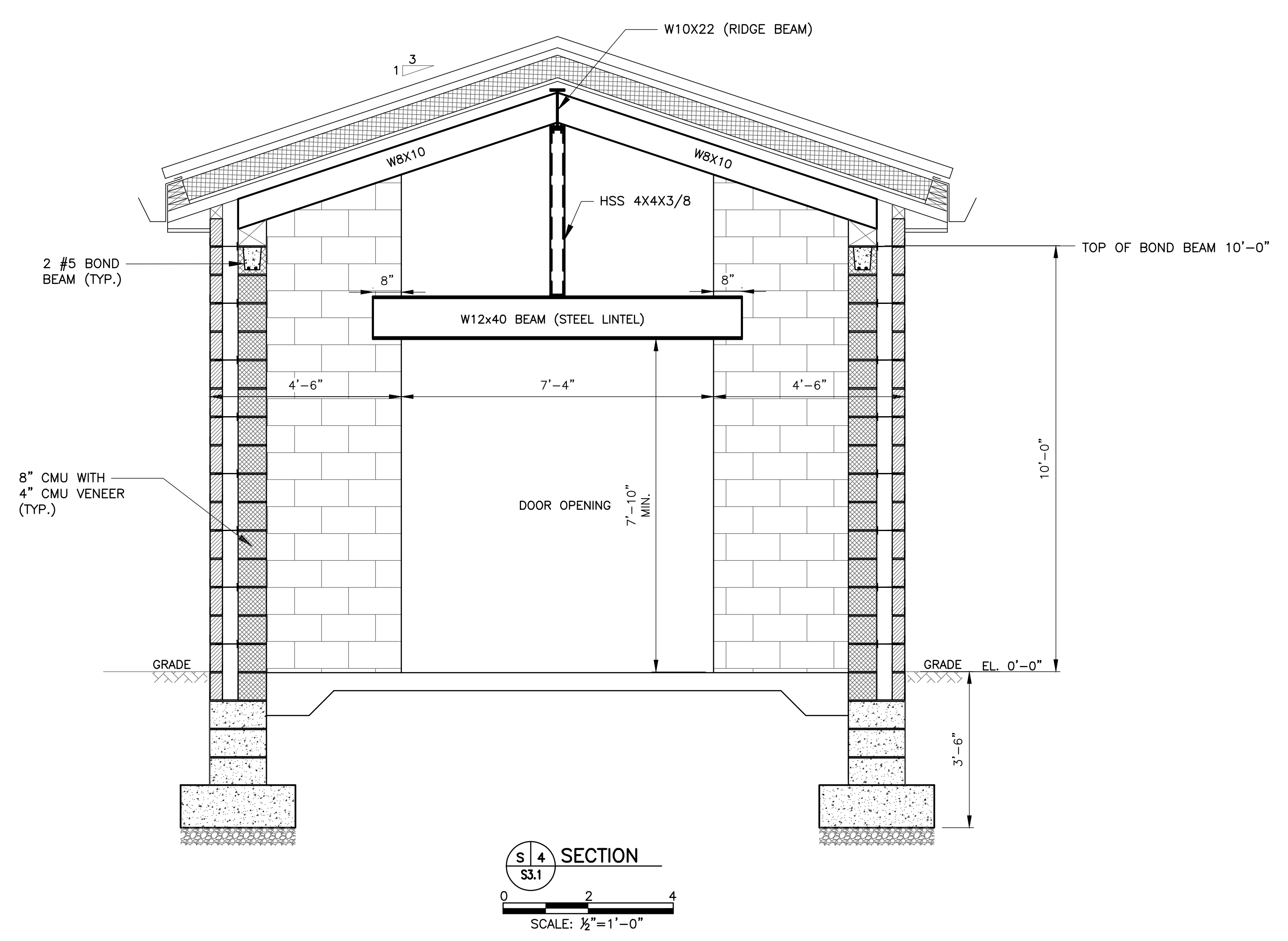
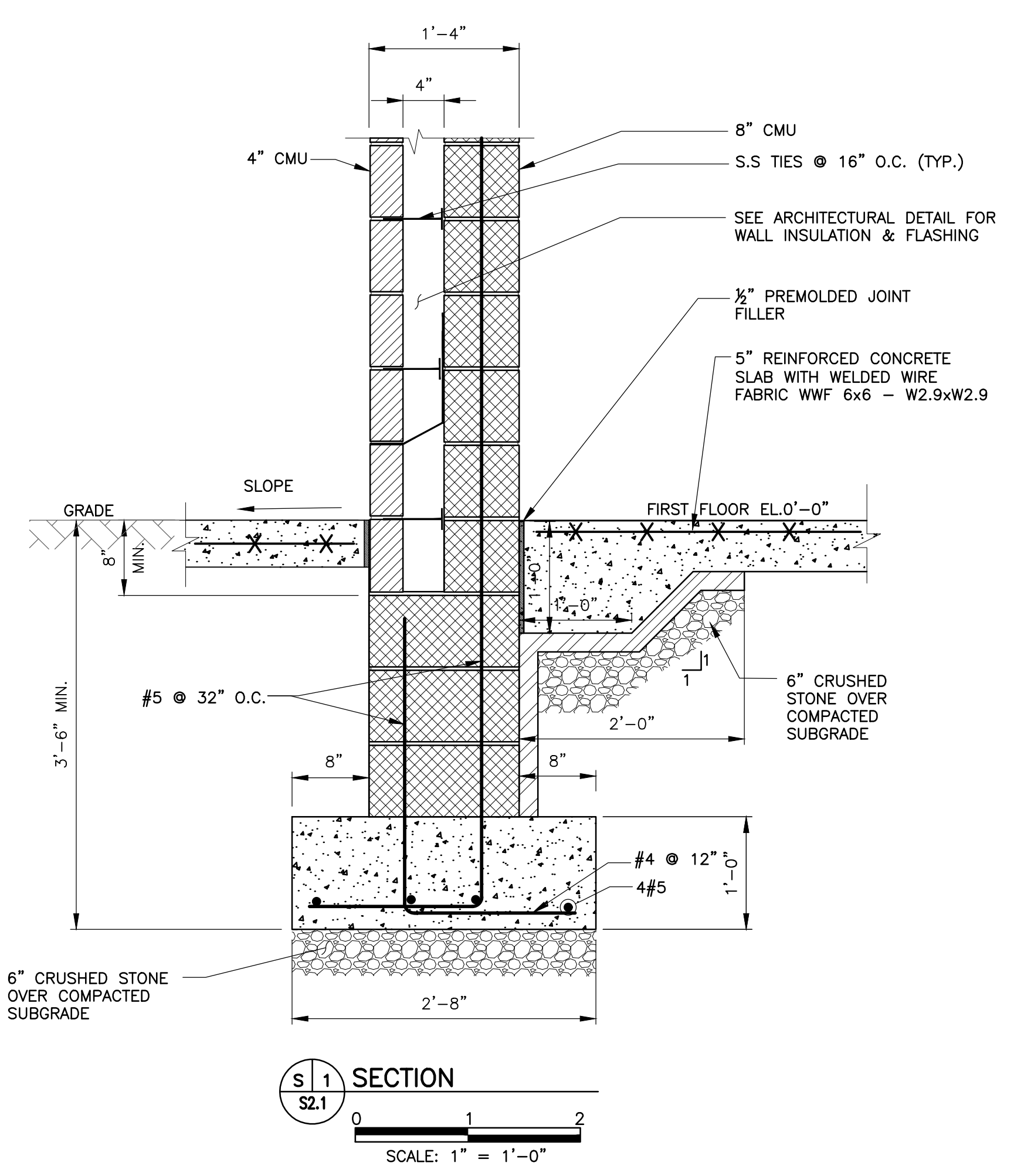


CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA

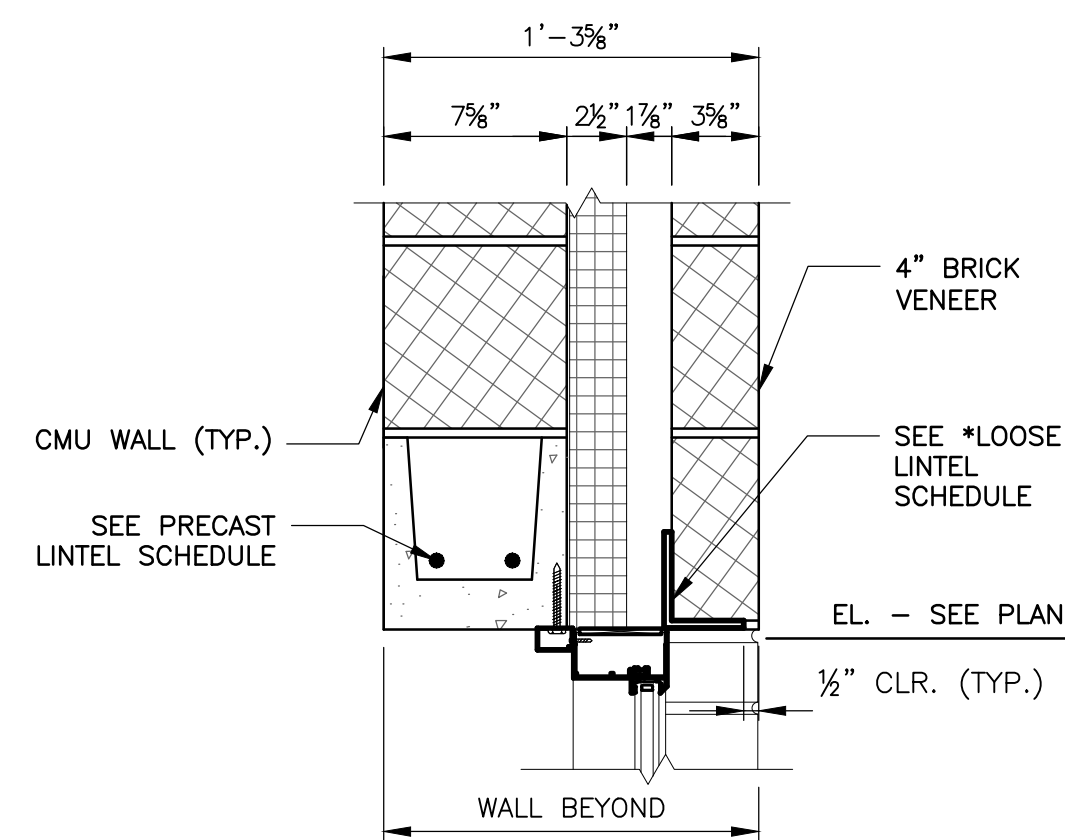
PROJECT TITLE
Small Primate Holding Mechanical Upgrades
 DRAWING TITLE
SECTIONS

PROJECT NO.
 71-19-4365-01
 DRAWING NO.
S3.1
 DATE
 04/19/19
 SCALE
 AS NOTED
 DRAWN BY
 H.D.
 CHECKED BY
 S.C.

NOT FOR CONSTRUCTION



NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



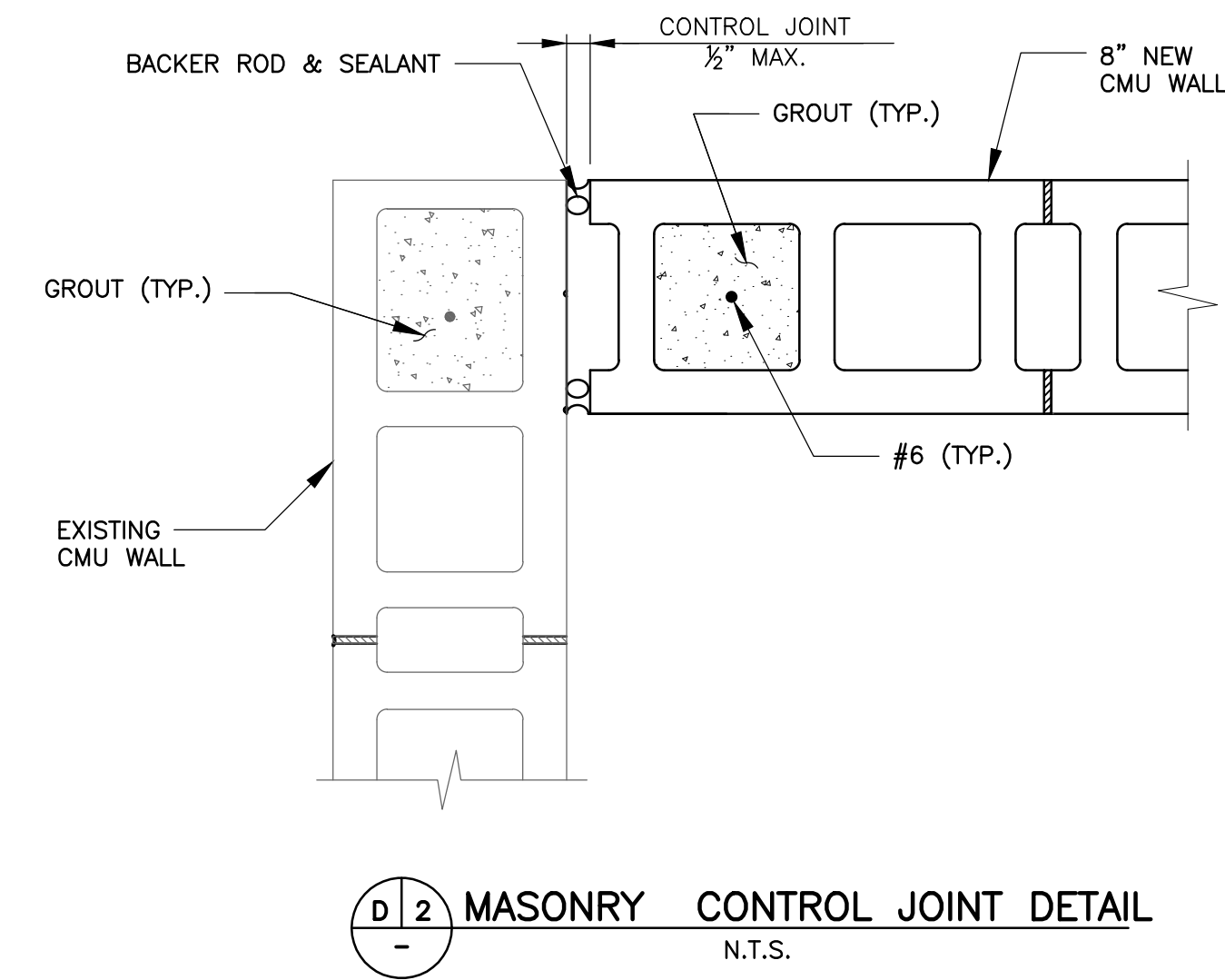
1. PROVIDE ONE (1) ANGLE FOR EACH 4" OF MASONRY WIDTH.
2. BEAR LINTELS 8" MINIMUM EACH SIDE OF OPENING.
3. ALL LINTELS IN EXTERIOR WALLS TO BE GALVANIZED.
4. WHERE OPENINGS LOCATED NEXT TO THE COLUMNS OR BEAMS, ATTACH TO STRUCTURAL STEEL, CONNECTION NOT TO PROTRUDE INTO OPENING.
5. CONSULT ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR OPENING SIZE & LOCATION.
6. MASONRY VENEER SHALL BE FULLY GROUTED 16" LONG WALL BY THE OPENING.
7. INSTALLATION OF NEW LINTEL ON EXISTING WALL IS MEANS AND METHOD OF CONTRACTOR.

D1 PRECAST LINTEL DETAIL
N.T.S.

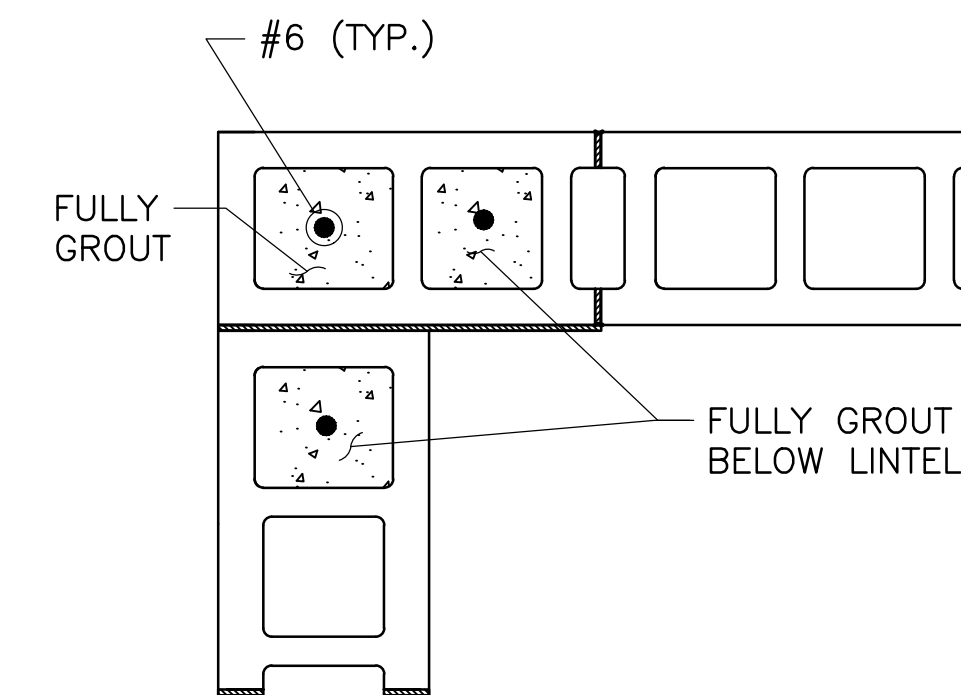
| PRECAST LINTEL SCHEDULE (8" CMU) | | | |
|----------------------------------|-----------------|-------|----------------------|
| LINTEL | MASONRY OPENING | DEPTH | BOTTOM REINFORCEMENT |
| L1 | UP TO 4'-0" | 0'-8" | (2)#5 |
| L2 | 4'-1" TO 6'-0" | 0'-8" | (2)#4 |
| L3 | 6'-1" TO 8'-0" | 0'-8" | (2)#5 |

| LOOSE LINTEL SCHEDULE AT VENEER | | |
|---------------------------------|-----------------|-----------------|
| LINTEL | MASONRY OPENING | LINTEL SIZE |
| L1 | UP TO 4'-0" | L4X3 1/2 X5/16" |
| L2 | 4'-1" TO 6'-0" | L5X3 1/2 X3/8" |
| L3 | 6'-1" TO 8'-0" | L6X3 1/2 X3/8" |

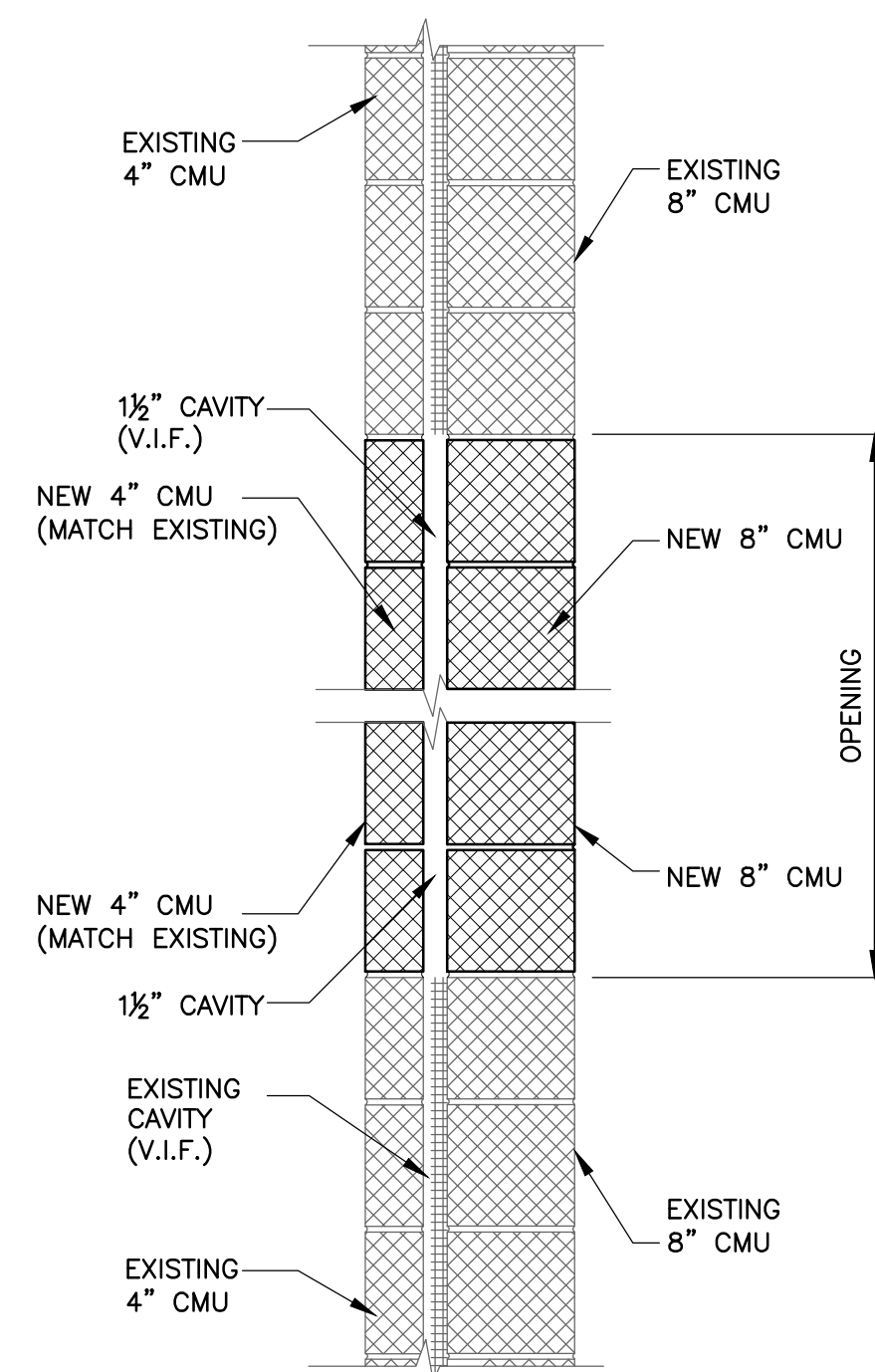
- NOTES:
1. ALL EXTERIOR LINTELS TO BE GALVANIZED STEEL.
 2. THIS DETAIL APPLIES 8" & 12" CMU WALLS.



D2 MASONRY CONTROL JOINT DETAIL
N.T.S.

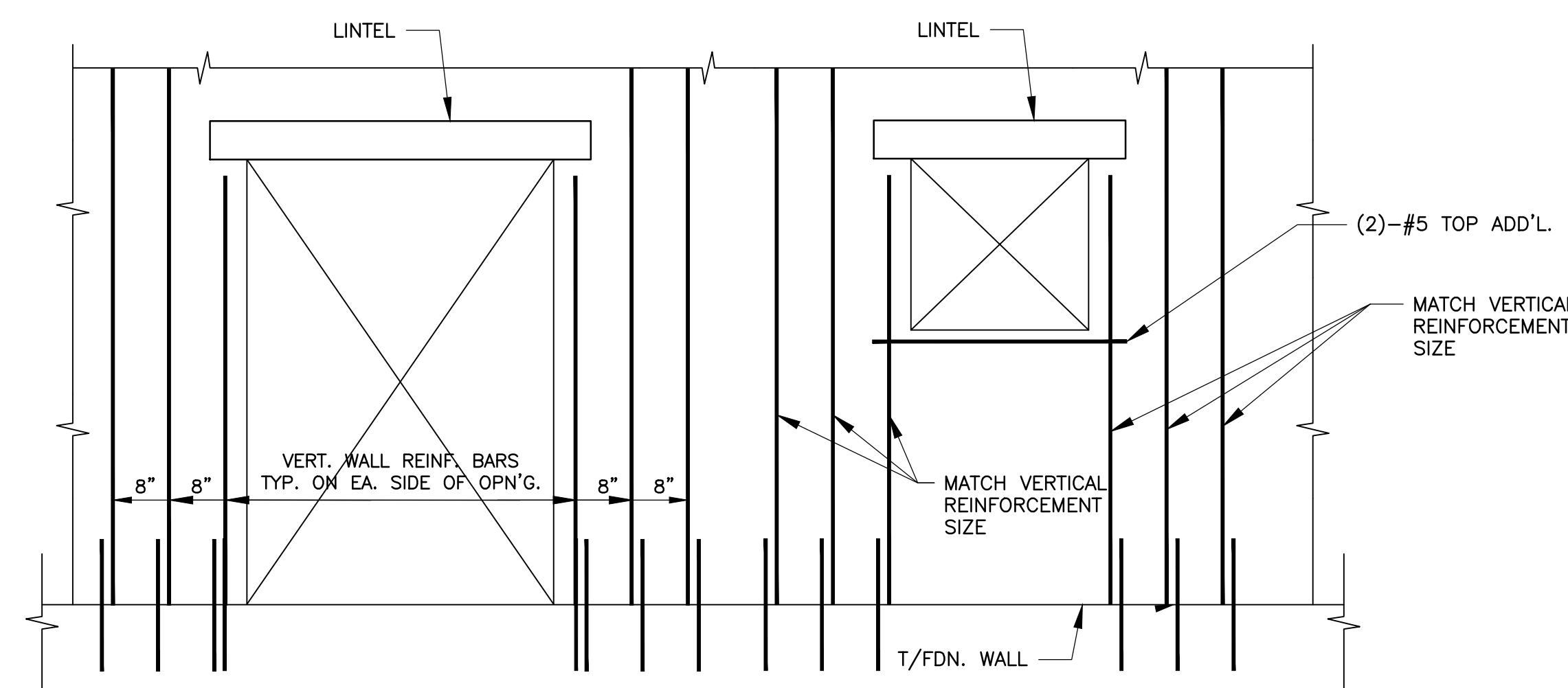


D3 TYPICAL CMU VERTICAL REINFORCEMENT
N.T.S.



- NOTE:
1. REMOVE EXISTING LINTEL, AND PROVIDE SHORING AS REQUIRED.

D4 EXTERIOR INFILL WALL DETAIL
SCALE: 1" = 1'-0"



D5 TYPICAL WALL OPENING IN REINFORCED MASONRY WALL
N.T.S.

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



KSE KS ENGINEERS, P.C.
Engineers • Surveyors • Construction Managers
494 Broad Street, 4th Floor, Newark, N.J. 07102
Phone: (973)623-2999, Fax: (973)623-2988

PROJECT COORDINATOR
MARC OROGVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
TYPICAL SECTIONS AND DETAILS

PROJECT NO.
71-19-4365-01

DATE
04/19/19

SCALE
AS NOTED

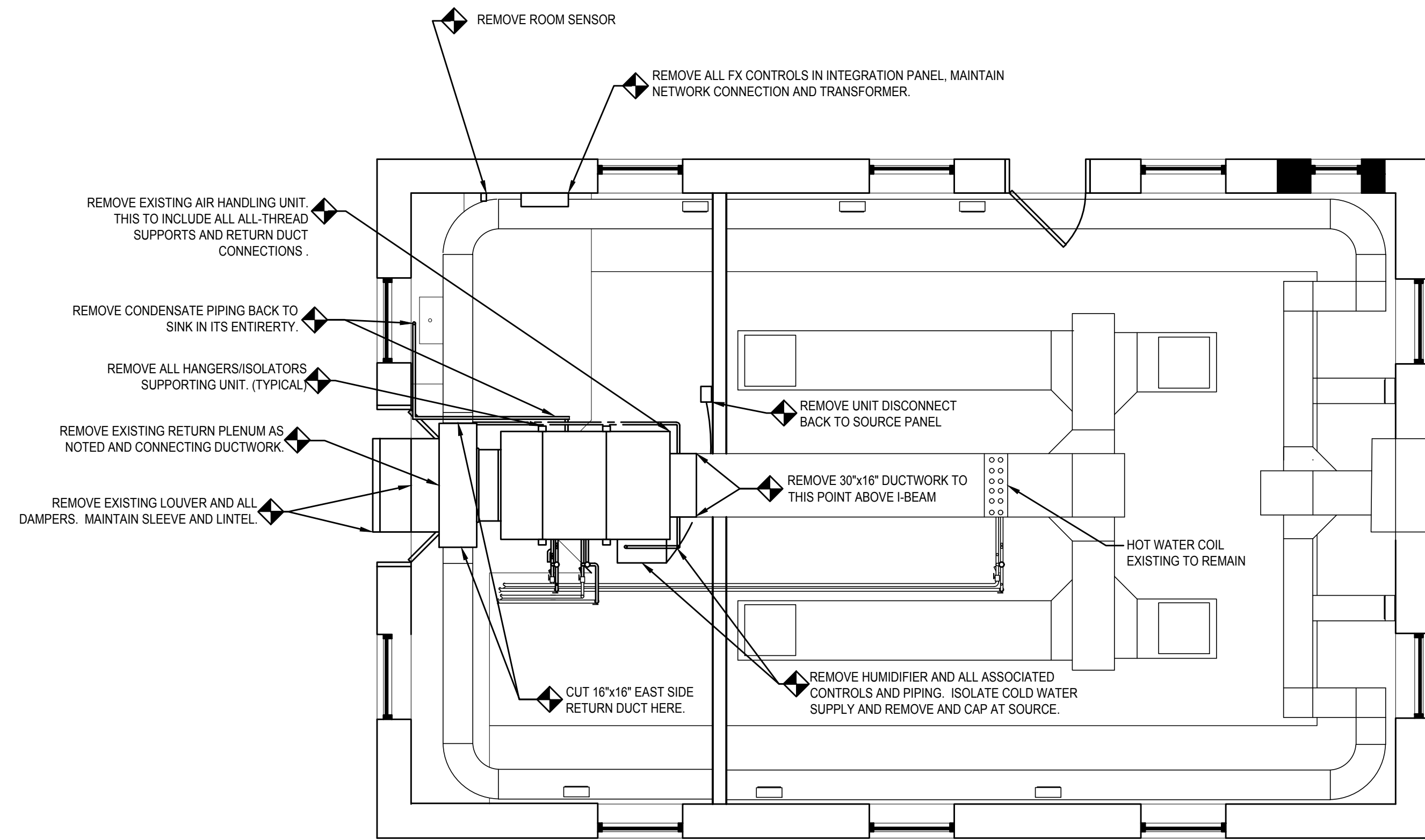
DRAWN BY
H.D.

CHECKED BY
S.C.

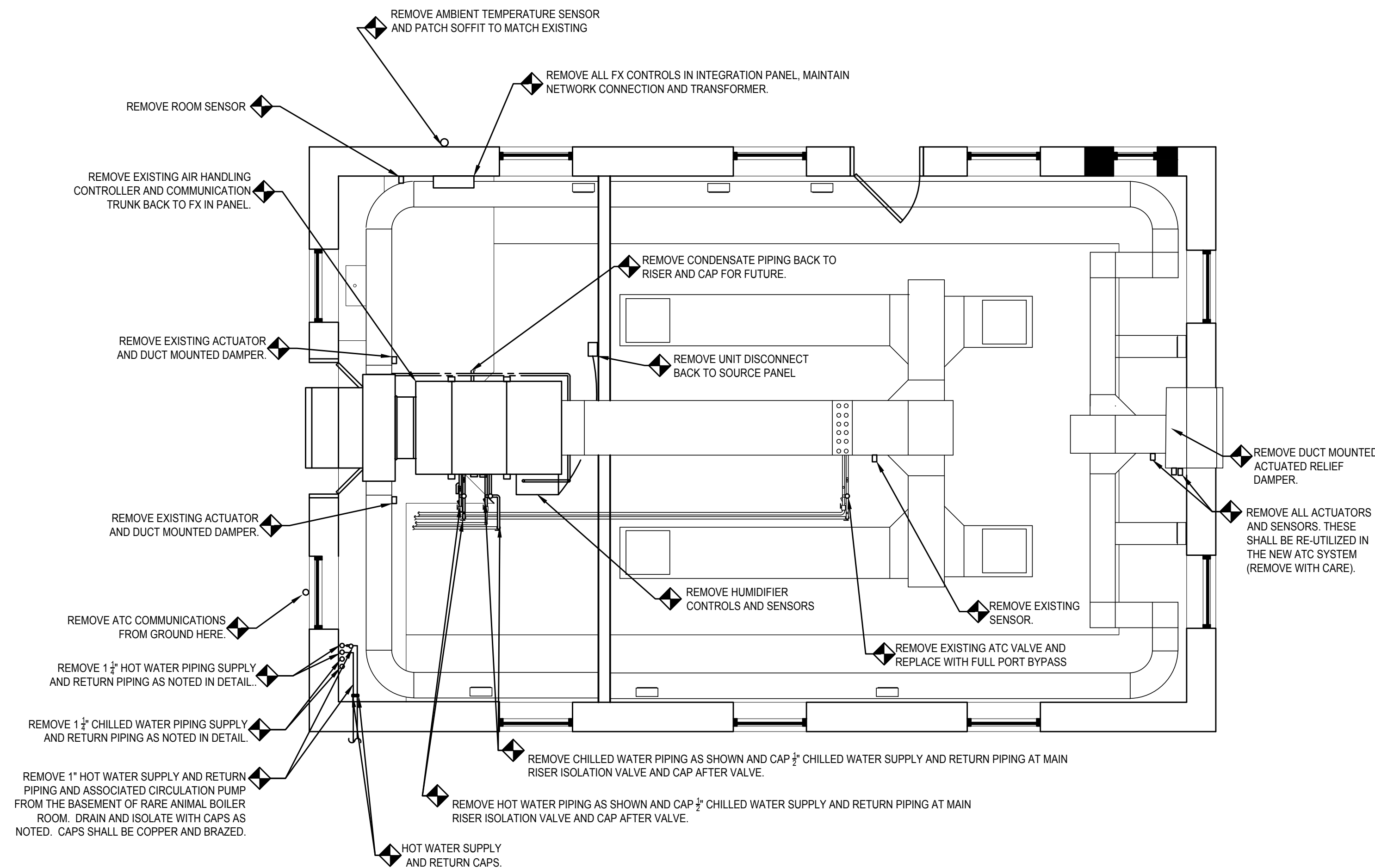
S4.1

NOT FOR CONSTRUCTION

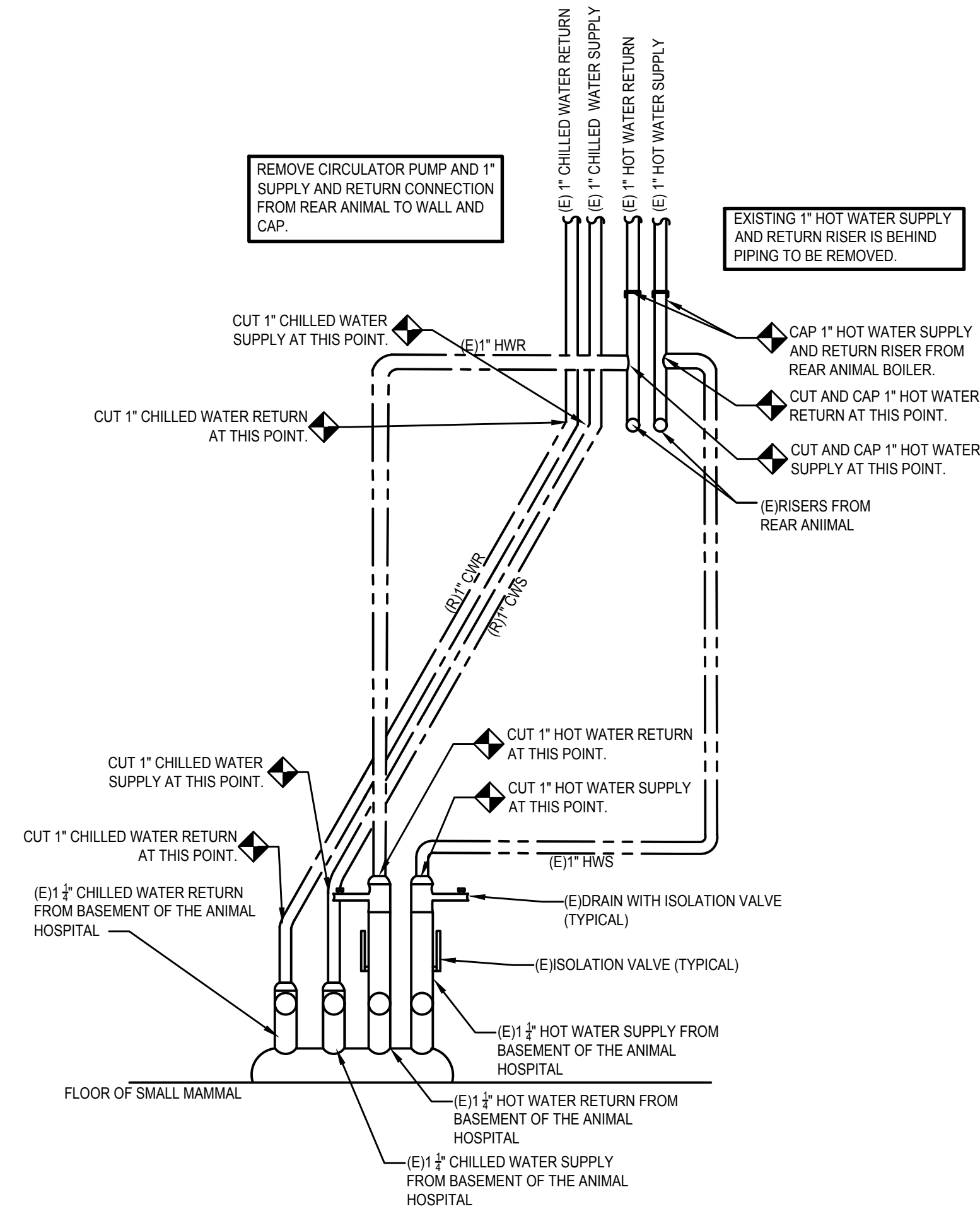
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1
MD3.0
MECHANICAL SMALL PRIMATE - DEMOLITION EQUIPMENT
1/4" = 1'-0"



2
MD3.0
MECHANICAL SMALL PRIMATE - DEMOLITION CONTROLS
1/4" = 1'-0"



3
MD3.0
CHILLED AND HOT WATER RISER DEMOLITION
NOT TO SCALE

DEMOLITION GENERAL NOTES:

1. DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
2. WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, PIPING, CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER HVAC, PLUMBING EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE, AREAS BEYOND THE IMMEDIATE WORK) CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
3. PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS TO BE REMOVED. SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
5. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED MANNER.
6. MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
8. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
9. REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERRECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL. PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
12. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA OR THE OWNER'S INSURANCE UNDERWRITER.
13. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISINGS AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS.
15. NOT ALL EXISTING EQUIPMENT TO BE REMOVED MAY BE INDICATED. CONTRACTOR SHALL VERIFY ALL REMOVALS WITH ARCHITECT & ZOO OFFICIAL.



SMALL PRIMATE HOLDING LOCATION

| REVISIONS | | |
|-----------|----------|------------------------|
| ISSUE | DATE | REVISIONS |
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |



MP Engineer
Wick Fisher White
Federal Reserve Bank Building
100 N. Independence Mall West
Suite 5 SE
Philadelphia, PA 19106
Tele: 215-627-0200
WFW PROJECT # - 190019

PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**Small Primate Holding
Mechanical Upgrades**

DRAWING TITLE
**MECHANICAL SMALL
PRIMATE DEMOLITION**

PROJECT NO.
71-19-4365-01

DATE
06/07/19

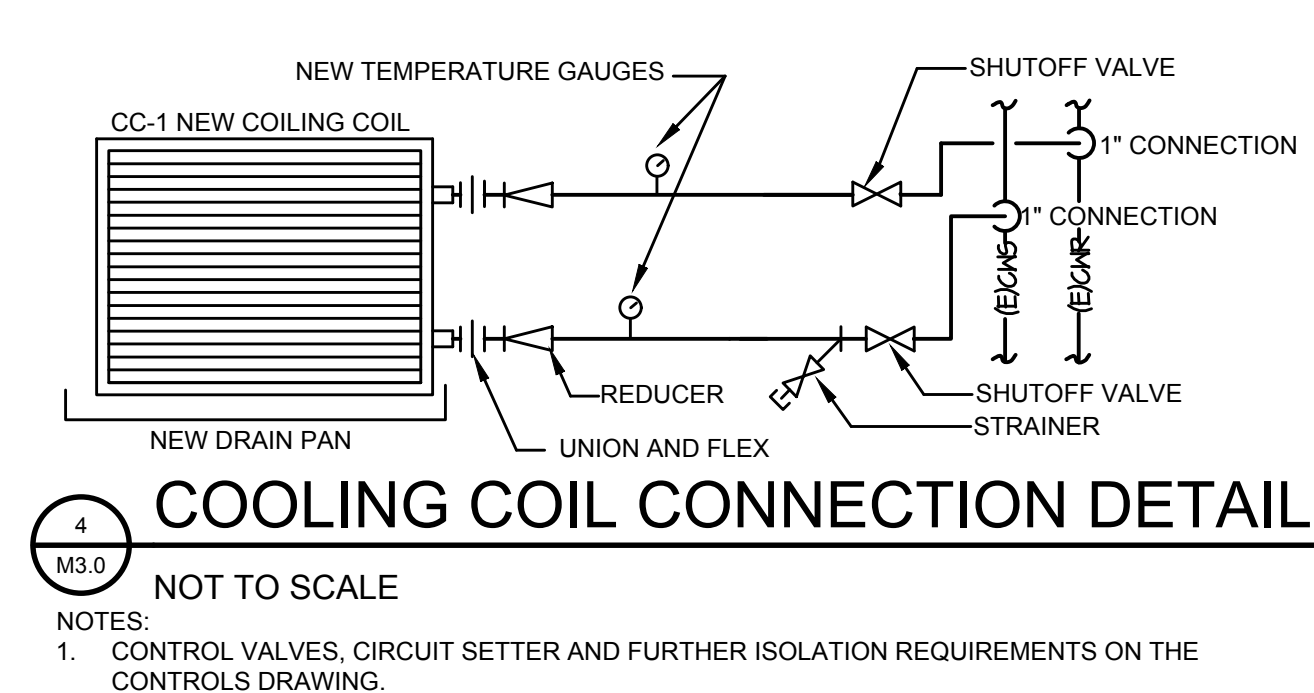
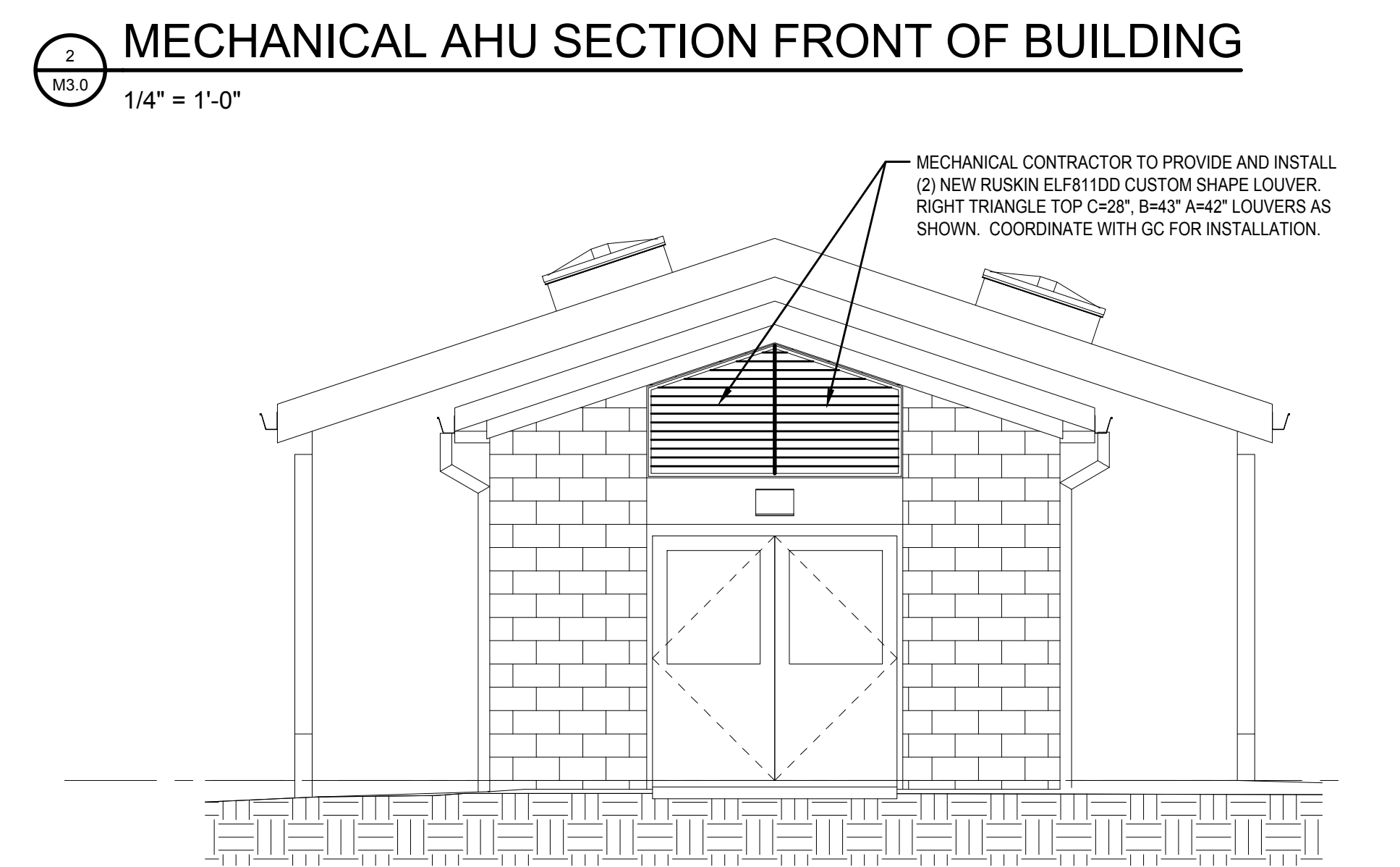
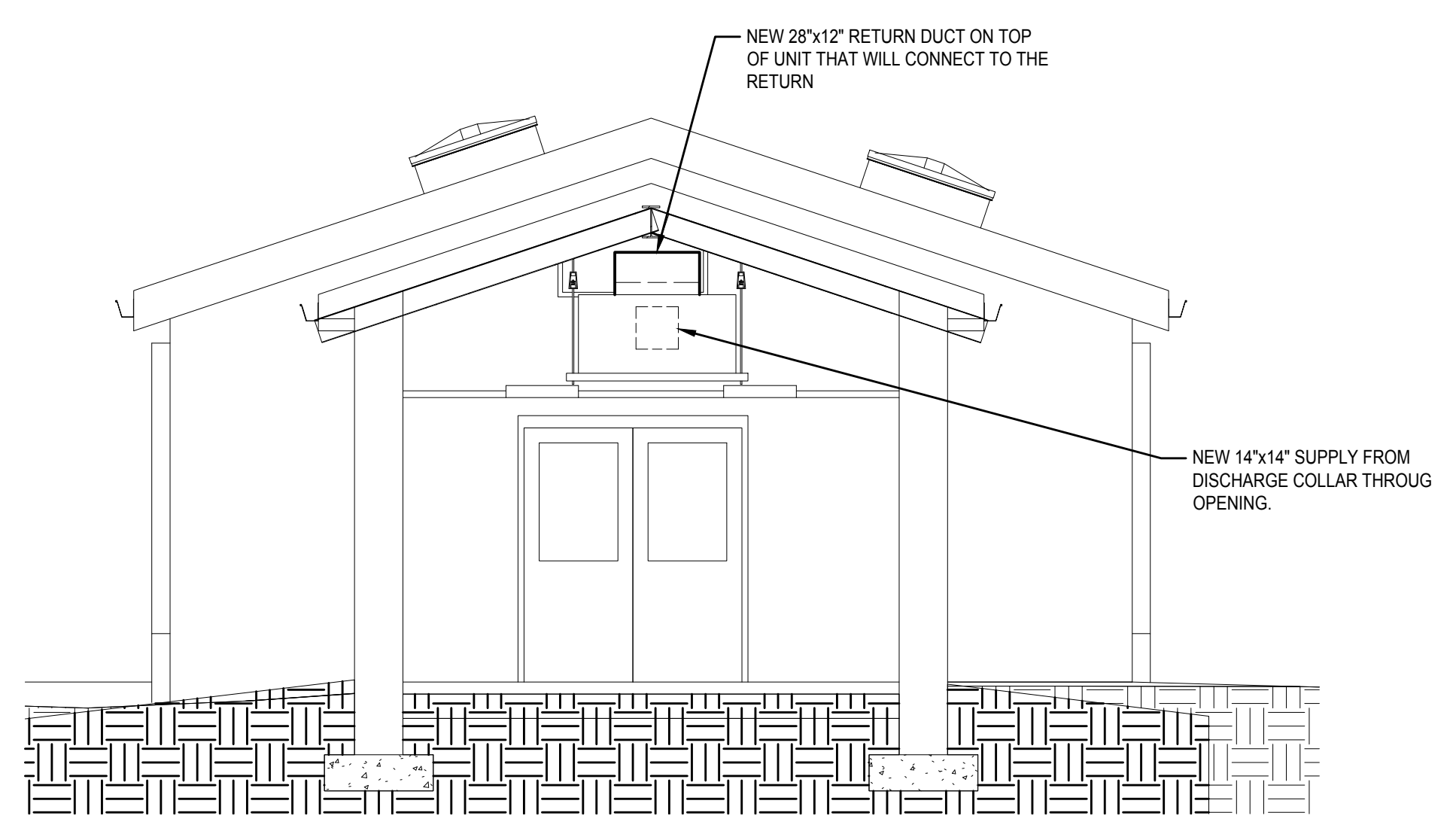
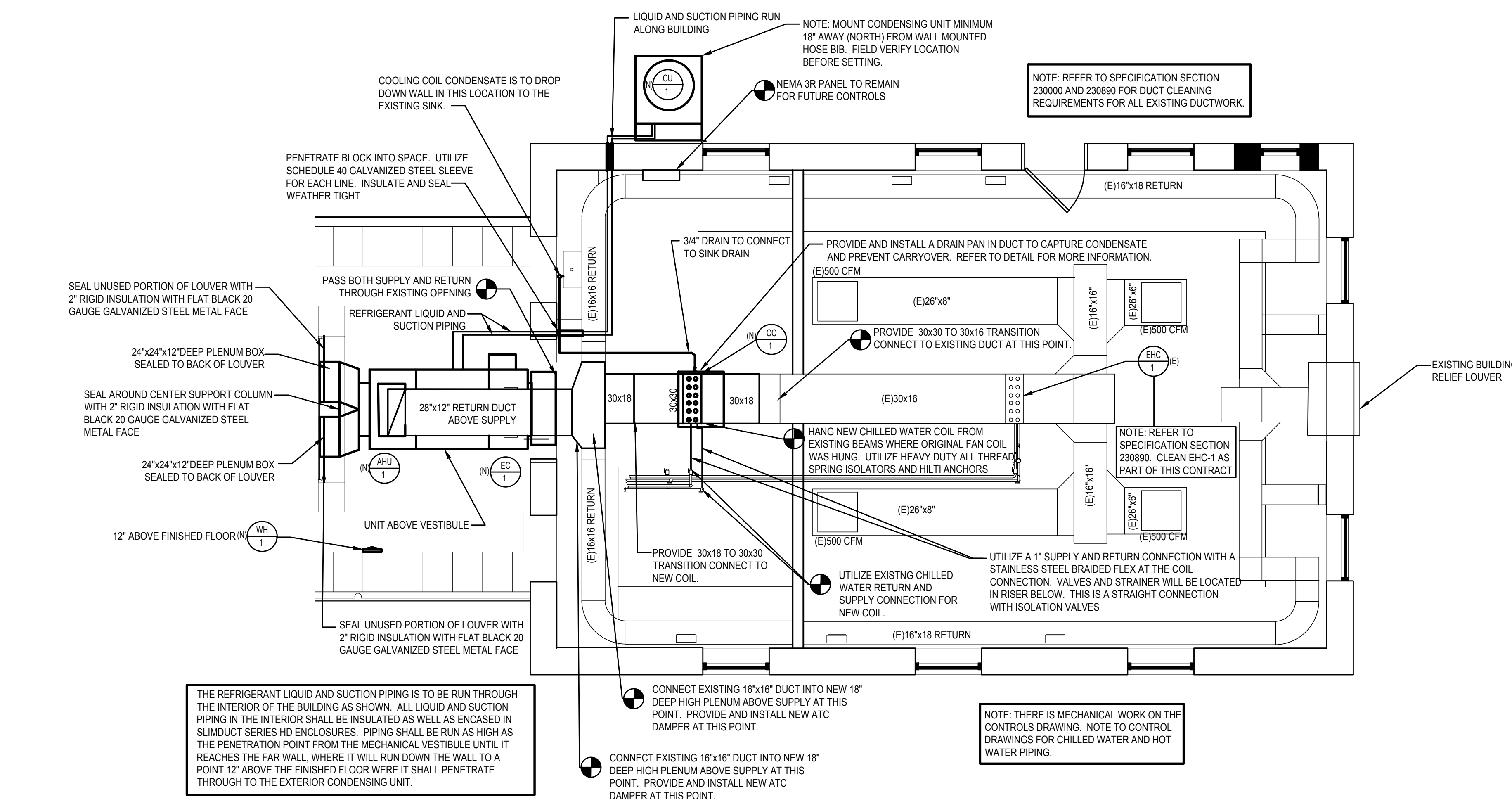
SCALE
AS NOTED

DRAWN BY
AO

CHECKED BY
AO

MD3.0

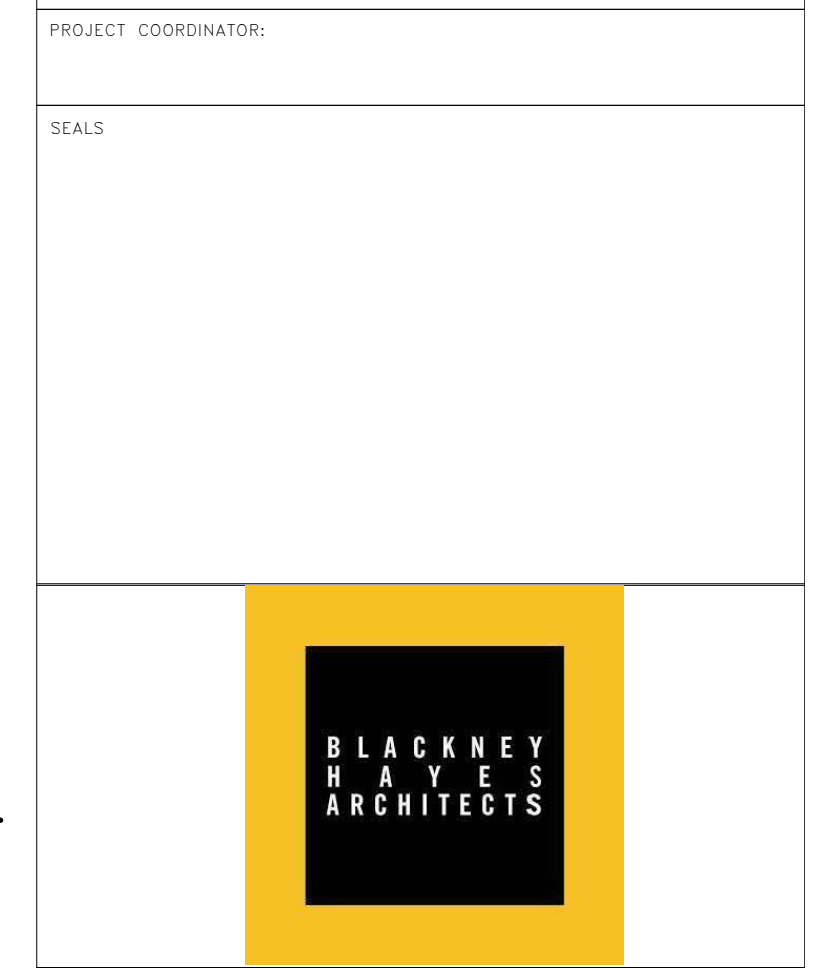
NOT FOR CONSTRUCTION



| REVISIONS | | |
|-----------|----------|------------------------|
| ISSUE | DATE | REVISIONS |
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |



M P Engineer
Wick Fisher White
Federal Reserve Bank Building
100 N. Independence Mall West
Suite 5 SE
Philadelphia, PA 19106
Tele: 215-627-0200
WFW PROJECT # - 190019



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

Small Primate Holding Mechanical Upgrades

MECHANICAL NEW WORK

PROJECT NO. 71-19-4365-01
DATE 06/07/19
SCALE AS NOTED
DRAWN BY AO
CHECKED BY AO

M3.0

NOT FOR CONSTRUCTION

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |



MP Engineer
 Wick Fisher White
 Federal Reserve Bank Building
 100 N. Independence Mall West
 Suite 5 SE
 Philadelphia, PA 19106
 Tele: 215-627-0200
 WFW PROJECT # - 190019

PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1400 JFK BOULEVARD
 CITY HALL - ROOM 701
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
**Small Primate Holding
 Mechanical Upgrades**

DRAWING TITLE
**MECHANICAL
 CONTROLS**

PROJECT NO.
 71-19-4365-01

DATE
 06/07/19

SCALE
 AS NOTED

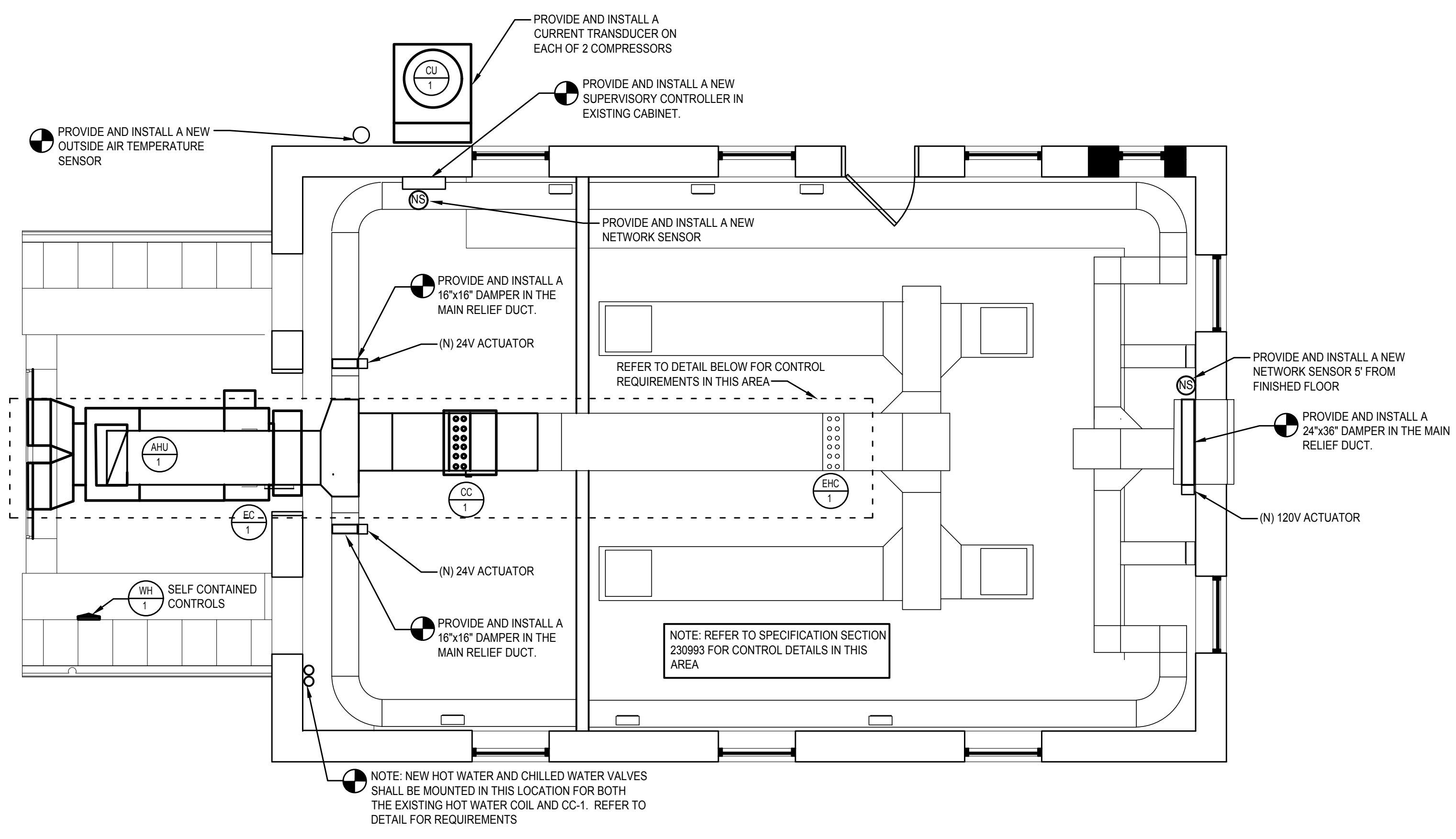
DRAWN BY
 AO

CHECKED BY
 AO

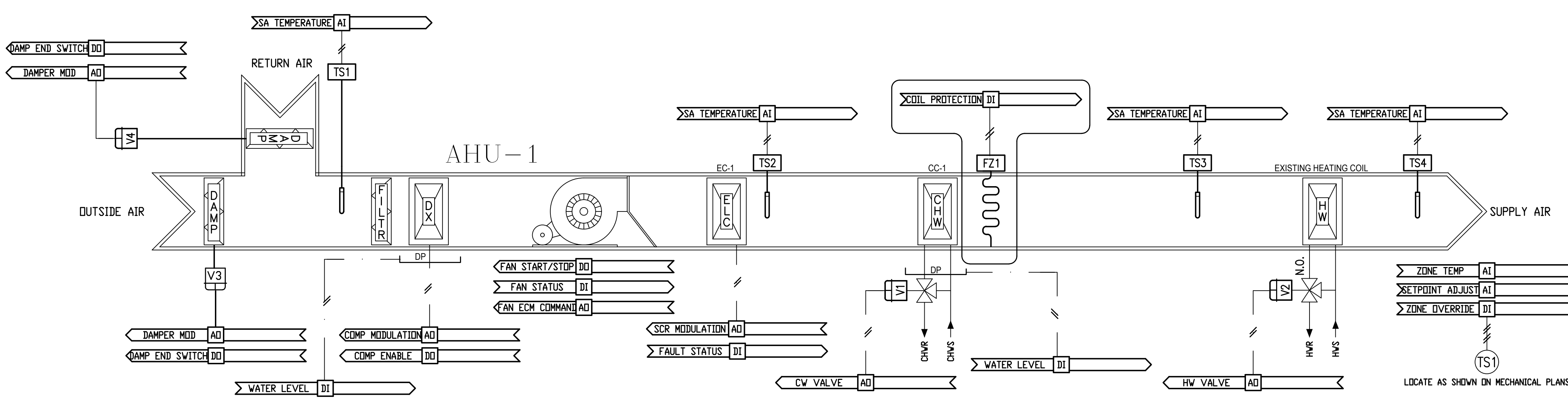
M4.0

NOT FOR CONSTRUCTION

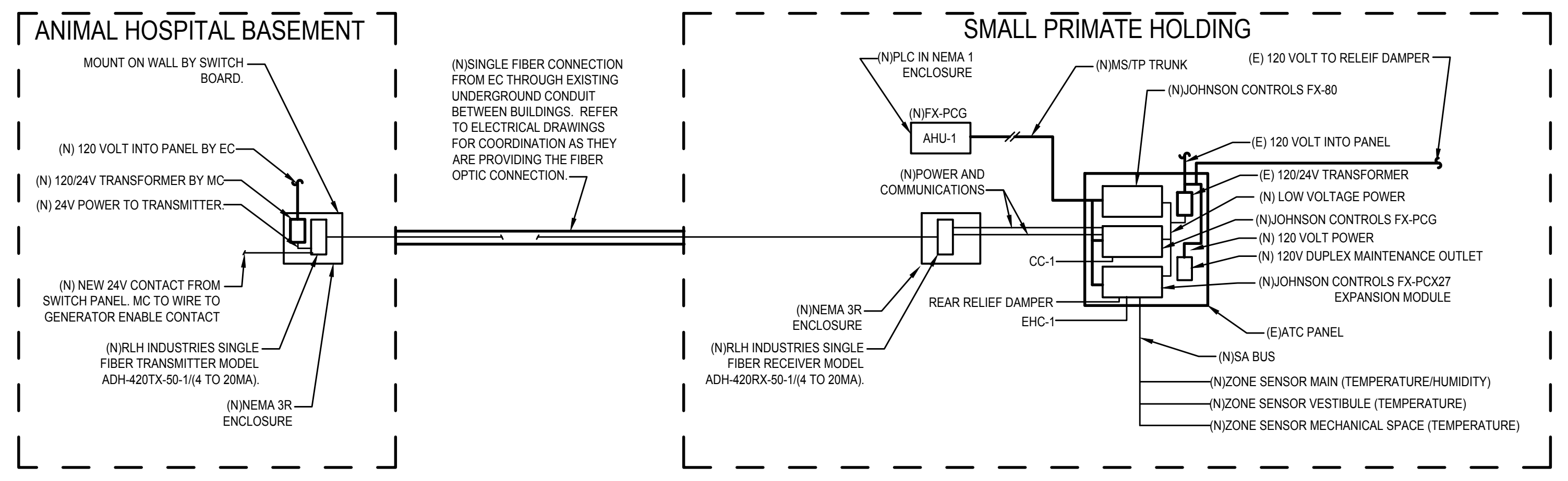
NOTE: ALL WORKS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 MECHANICAL BASE CONTROL LAYOUT
 M4.0 1/4" = 1'-0"

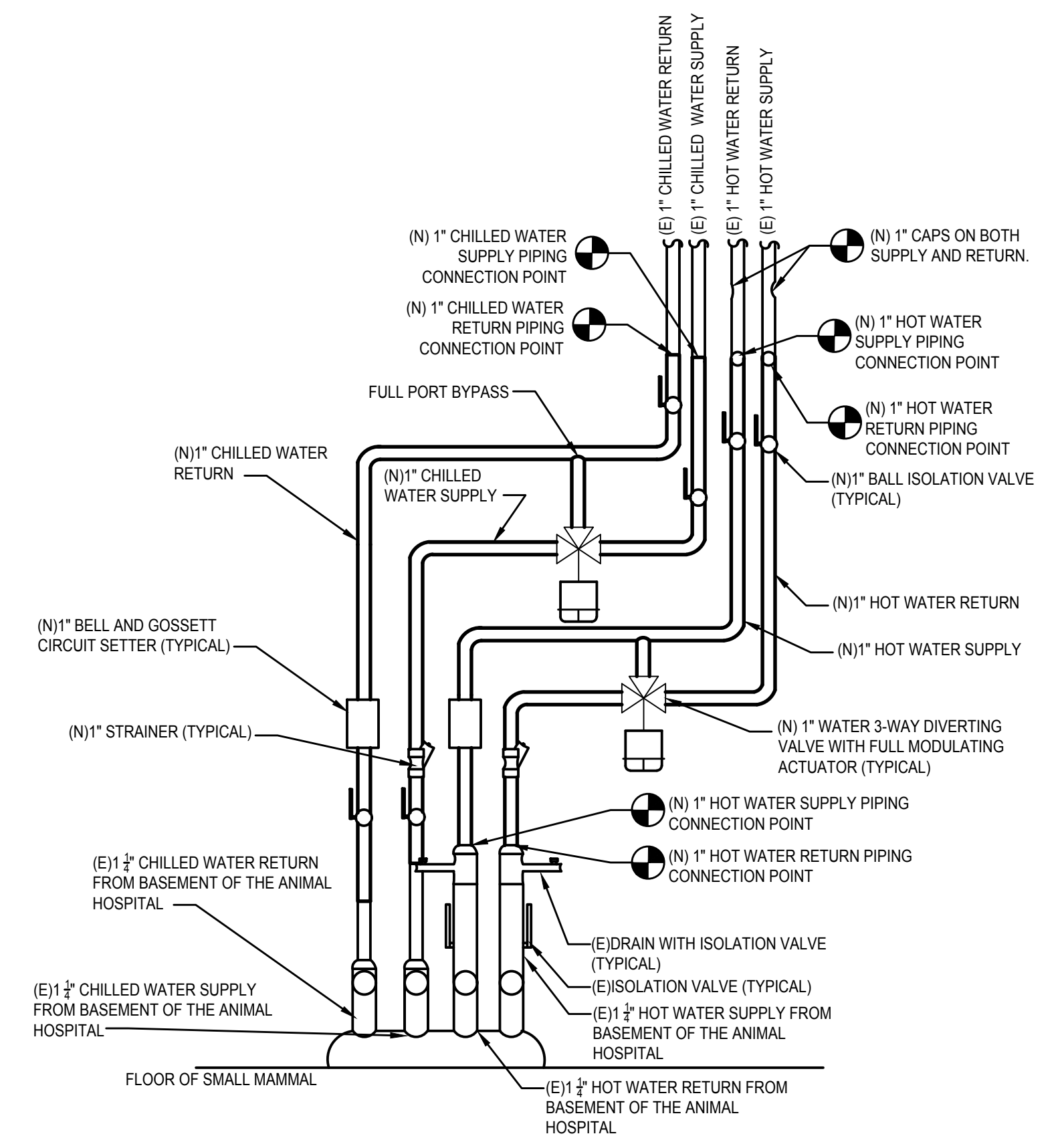


2 MECHANICAL AHU-1 CONTROL LAYOUT (REFER TO SPECIFICATION SECTION 230993)
 M4.0 NOT TO SCALE

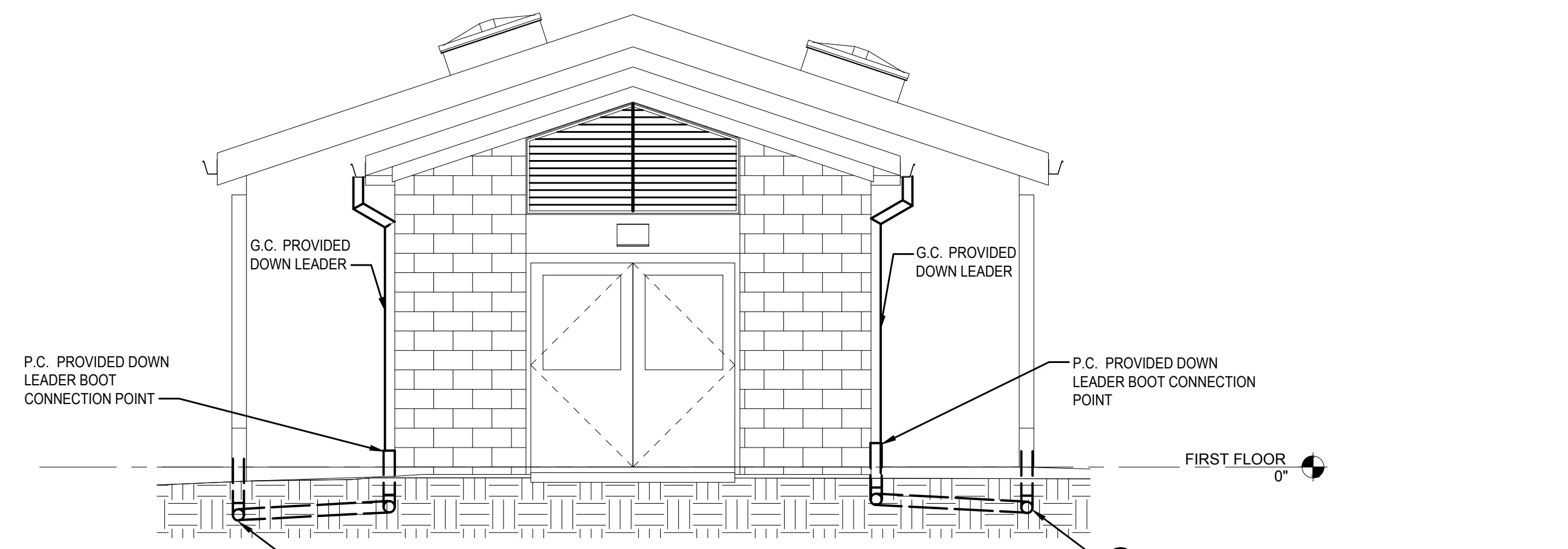


4 MECHANICAL CONTROL DIAGRAM
 M4.0 NOT TO SCALE

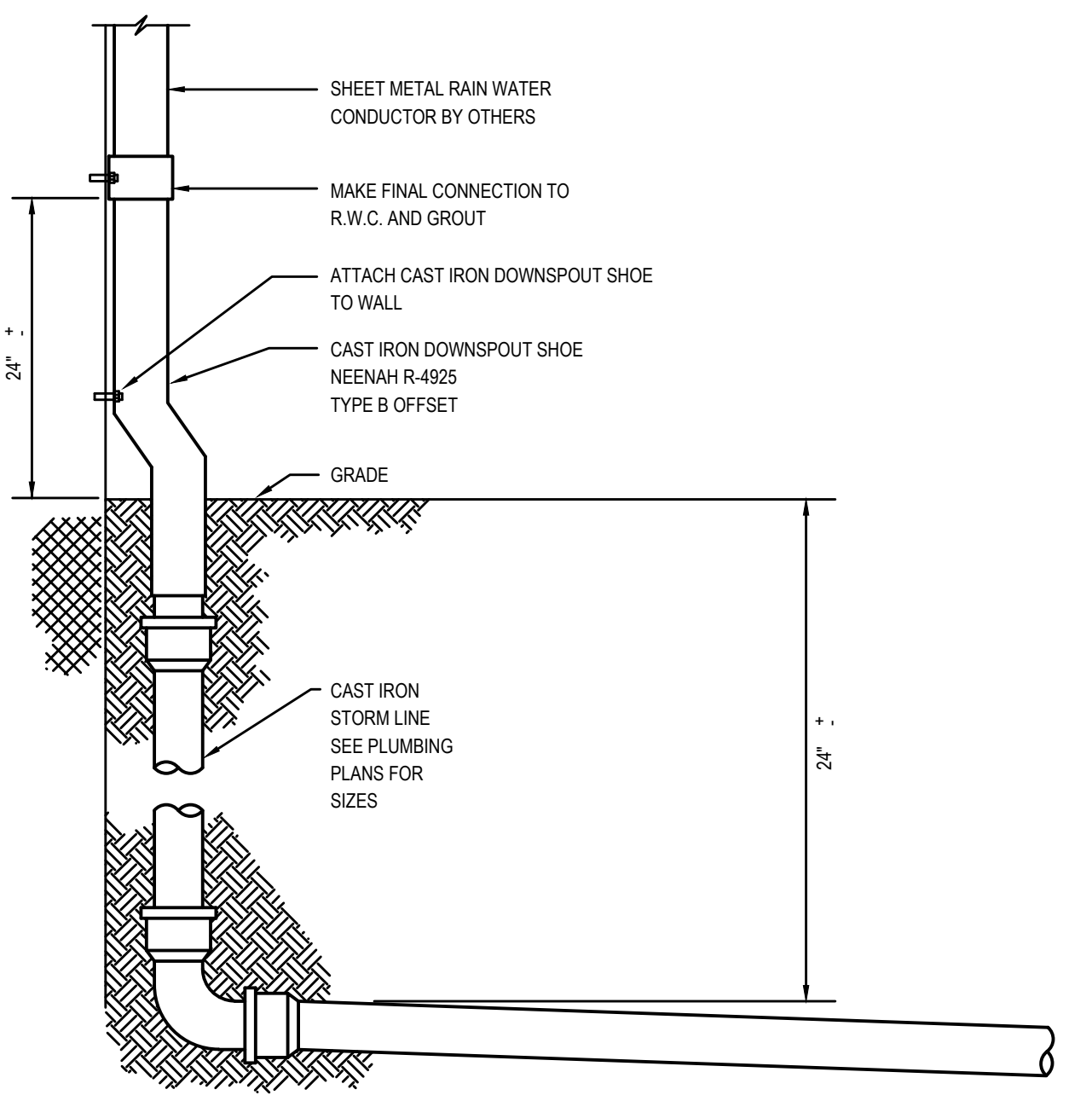
3 MECHANICAL RISER REQUIREMENTS
 M4.0 NOT TO SCALE



SMALL PRIMATE HOLDING LOCATION



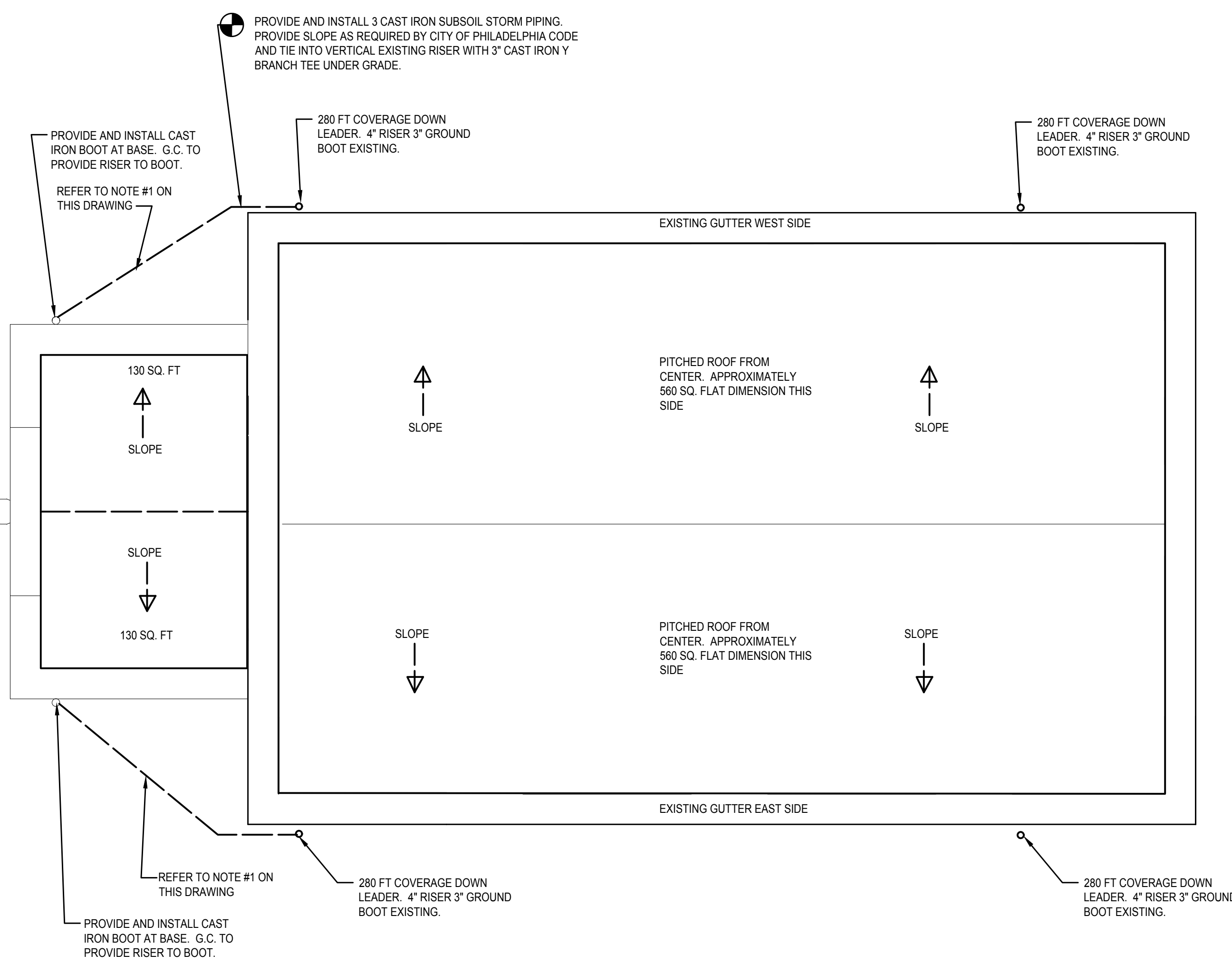
1 P1.0 **STORM CONNECTION SMALL PRIMATE FRONT OF BUILDING - NEW WORK**
1/4" = 1'-0"



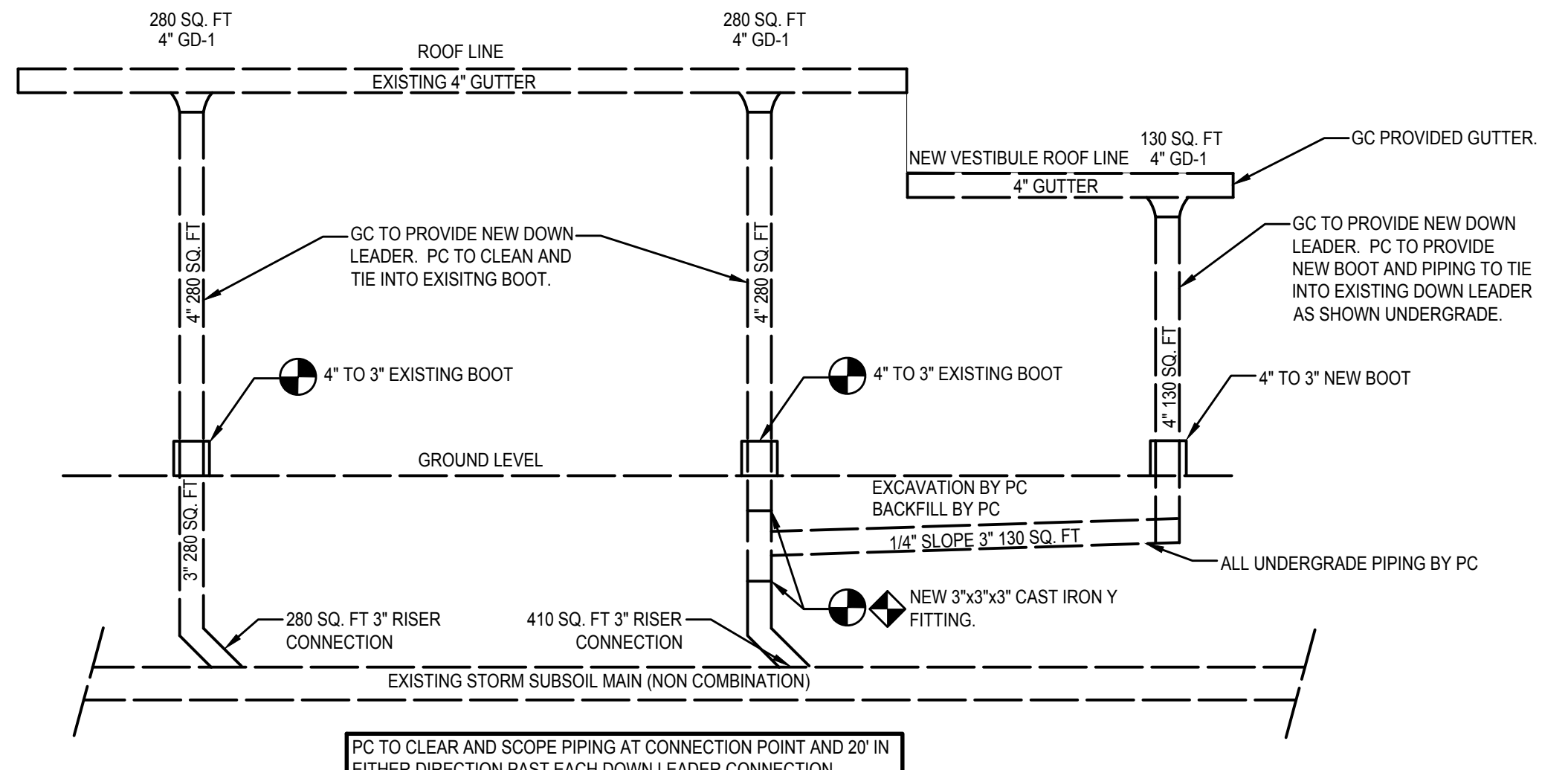
3 P1.0 **DOWN SPOUT BOOT DETAIL**
NOT TO SCALE

NEW WORK STORM PIPING NOTES

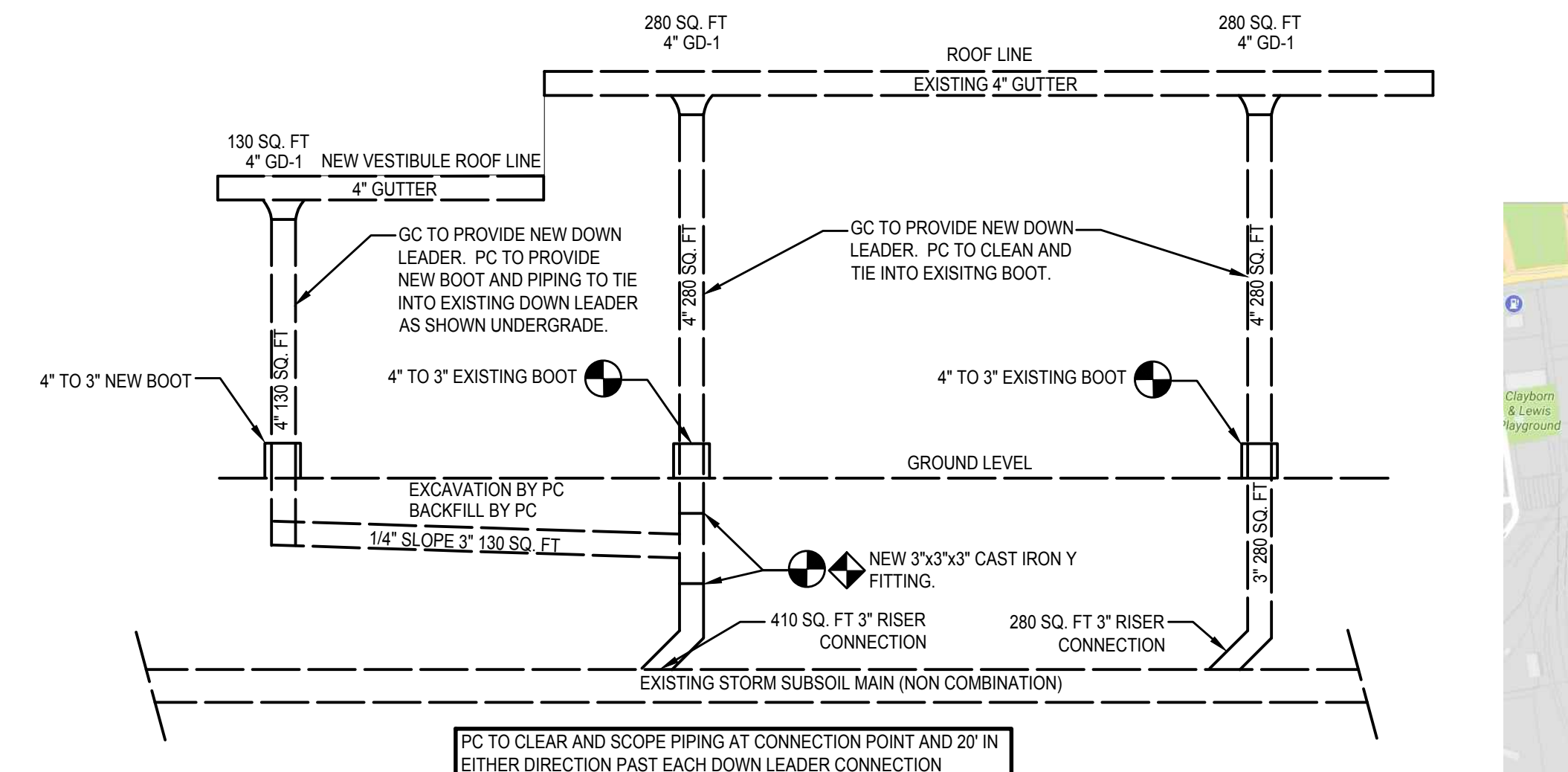
- 1 PROVIDE AND INSTALL 3" SUBSOIL CAST IRON STORM PIPING FROM RISER TO EXISTING BOOT CONNECTION. ASSURE SLOPE AS REQUIRED BY 2004 (2012 UPDATE) PHILADELPHIA PLUMBING CODE. INSTALL 24" UNDER GRADE AND UTILIZE COMPACTED DIRT AND A LAYER OF 2" DEEP PEA GRAVEL. VERIFY INVERT OF EXISTING STORM MAIN BEFORE PROCEEDING. THE VERTICAL BOOT RISER INTO HORIZONTAL RUN. NOTE: ALL REQUIRED EXCAVATION AND PATCHING SHALL BE BY THE PLUMBING CONTRACTOR. PATCHING OF ASPHALT AND GRADE TO MATCH EXISTING. PROVIDE AND SUBMIT DETAIL OF EXCAVATION AND PATCHING PLAN TO ARCHITECT BEFORE BEGINNING TO EXCAVATE. PLAN SHALL CLEARLY SHOW EXISTING STORM MAIN INVERT, PLANNED SLOPE, GRADE AND BACKFILL/PATCH PROCEDURES.
- 2 ALL STORM WORK REQUIRES THE PROVISION OF A SHOP DRAWING WITH ALL SUBSOIL CONNECTIONS AND SLOPS. ALL WORK SHALL CONFORM TO THE 2004 (2012 UPDATE) PHILADELPHIA PLUMBING CODE.
- 3 ALL EXCAVATION AND BACK FILL WORK SHALL BE COORDINATE WITH THE ARCHITECT AND ZOO PERSONNEL BEFORE WORK CAN BEGIN. A SCHEDULE IS REQUIRED WITHIN 4 WEEKS OF THE PROJECT AWARD NOTING TIME FRAME OF EXCAVATION AND INSTALL. MAXIMUM TIME FRAME OF COMPLETE STORM PIPING WORK IS 3 WEEKS.
- 4 ALL WORK SHALL BE INSPECTED BY ARCHITECT BEFORE BACKFILL.
- 5 EXISTING BRANCH AND MAIN PIPING SHALL BE CLEANED AND SCOPED AS NOTED IN THE RISER DIAGRAMS BELOW.



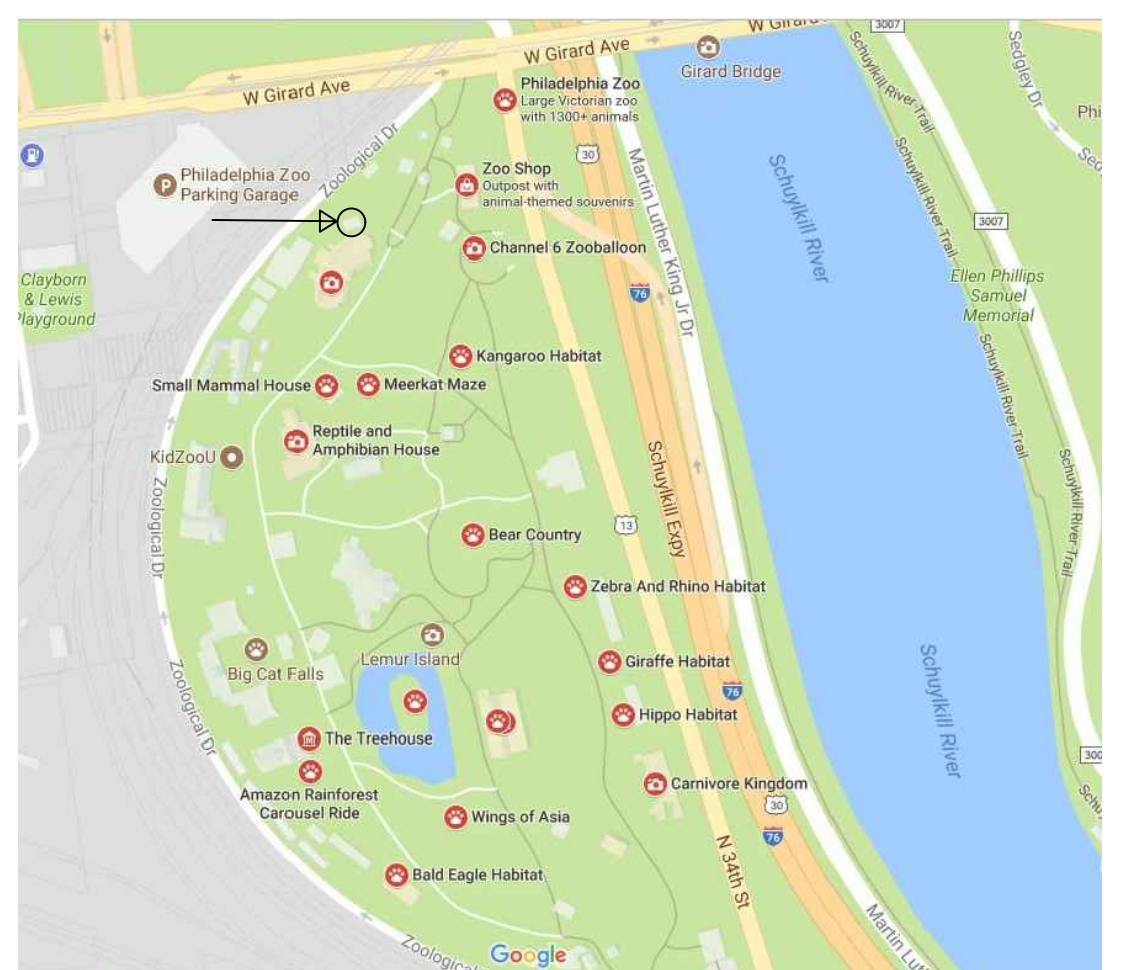
2 P1.0 **STORM CONNECTION SMALL PRIMATE - NEW WORK PLAN VIEW**
1/4" = 1'-0"



4 P1.0 **STORM RISER DIAGRAM WEST SIDE**
NOT TO SCALE



5 P1.0 **STORM RISER DIAGRAM EAST SIDE**
NOT TO SCALE



SMALL PRIMATE HOLDING LOCATION

| REVISIONS | | |
|-----------|----------|------------------------|
| ISSUE | DATE | REVISIONS |
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



M P Engineer
Wick Fisher White
Federal Reserve Bank Building
100 N. Independence Mall West
Suite 5 SE
Philadelphia, PA 19106
Tele: 215-627-0200
WFW PROJECT # - 190019

PROJECT COORDINATOR:
SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
STORM PIPING NEW WORK

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

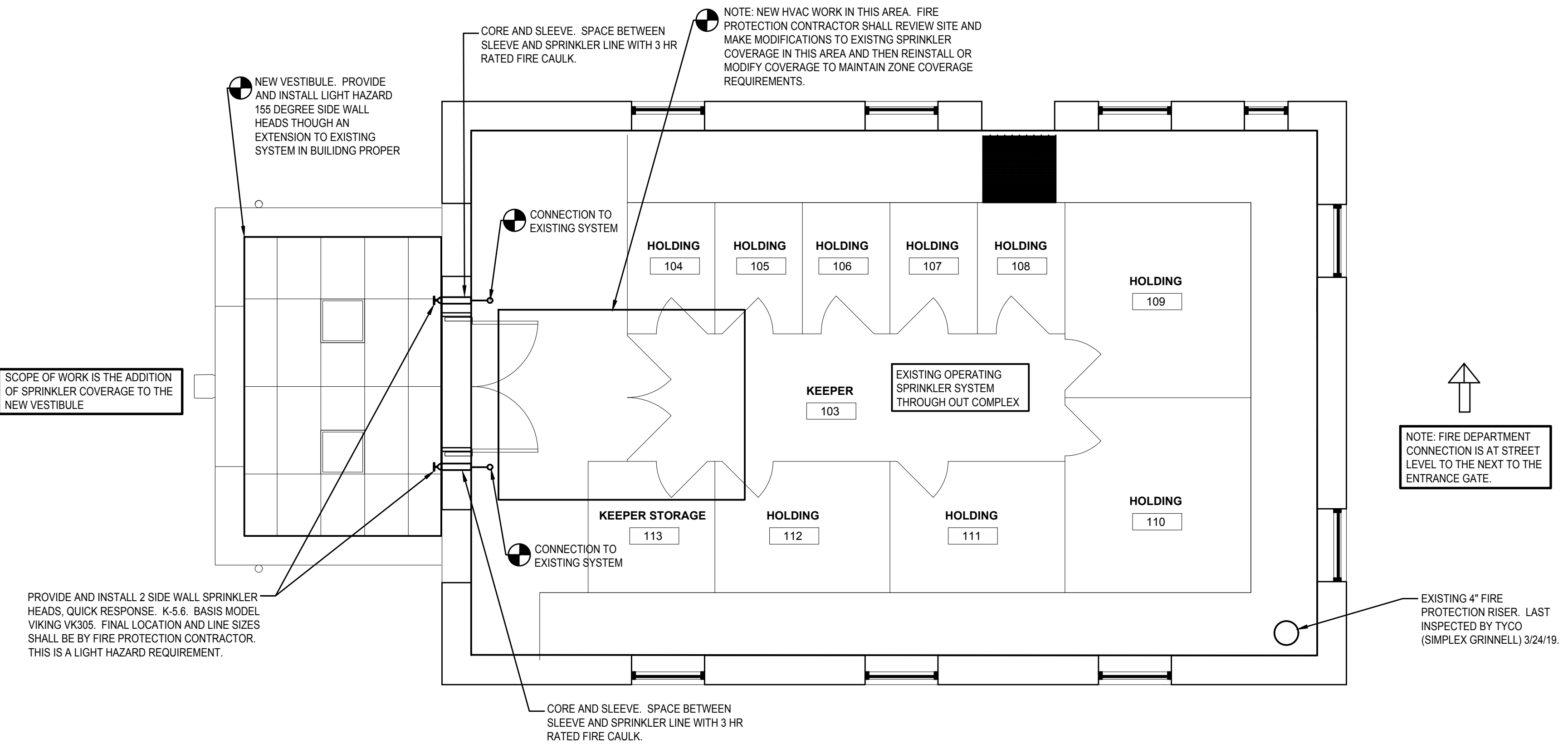
DRAWN BY
AO

CHECKED BY
AO

DRAWING NO.
P1.0

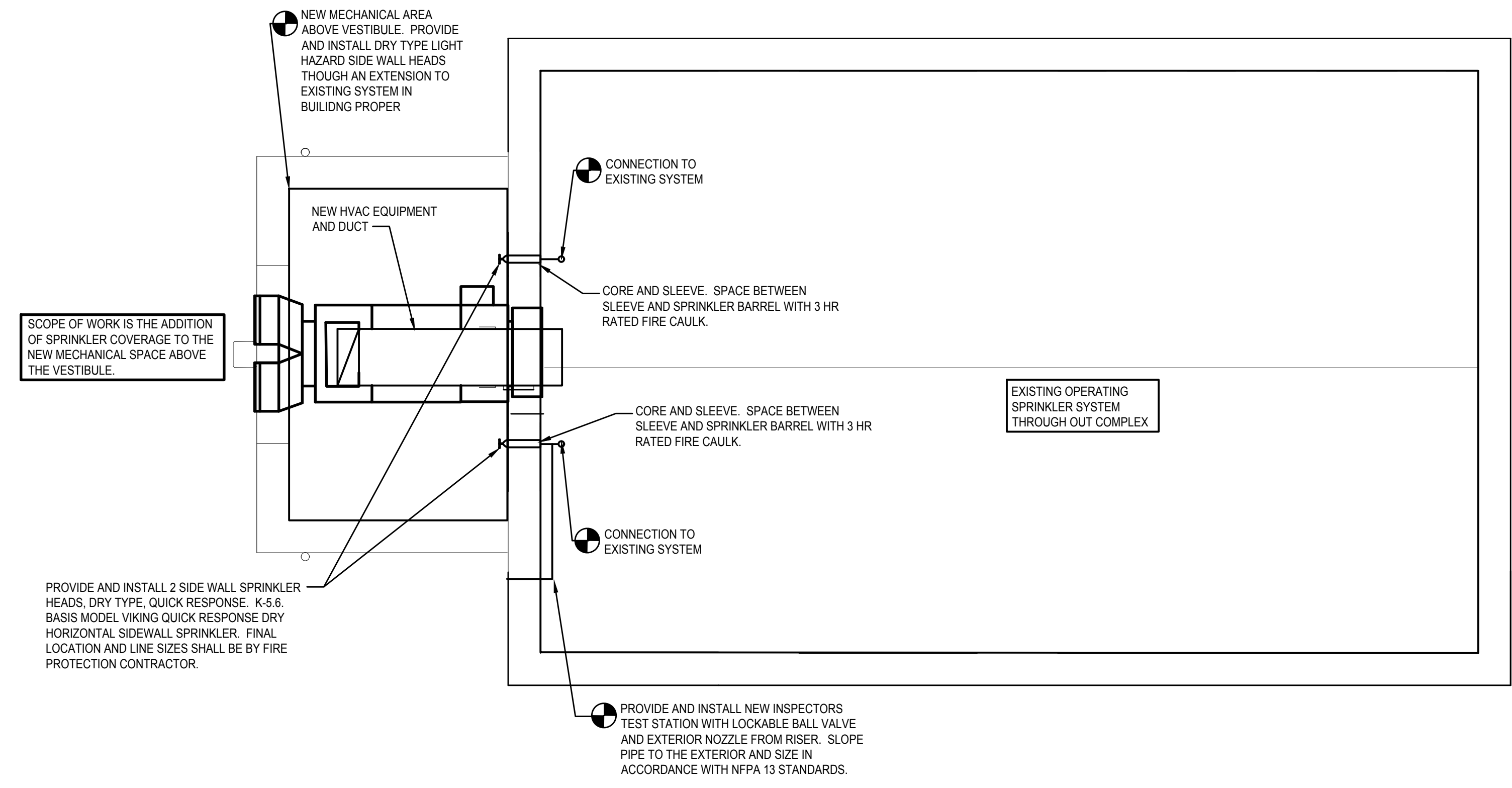
NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



FIRE PROTECTION SMALL PRIMATE - NEW WORK VESTIBULE

1
FP1.0
1/4" = 1'-0"



FIRE PROTECTION SMALL PRIMATE - NEW WORK MECHANICAL SPACE

2
FP1.0
1/4" = 1'-0"

NEW WORK FIRE PROTECTION NOTES

- 1 THIS IS A "DELEGATED" DESIGN CONTRACT SUCH THAT THE FIRE PROTECTION CONTRACTOR MUST PROVIDE CALCULATIONS AND LAYOUTS THAT ASSURE COMPLIANCE TO IFC 2009, IBC 2018 AND THE REFERENCED NFPA 13 2007 REQUIREMENT. FINAL SUBMITTAL SHALL INCLUDE SIGNED AND SEALED DRAWINGS FROM A FIRE PROTECTION PROFESSIONAL ENGINEER AUTHORIZED IN THE STATE OF PENNSYLVANIA.
- 2 SPRINKLER HEADS AND COVERAGE AREAS AS NOTED ON DRAWINGS ARE A CONTRACT REQUIREMENT. ALL LOCATIONS AND COVERAGE MUST COMPLY WITH NOTE #1 ABOVE.
- 3 RECENT TEST WAS BY TYCO AS NOTED ON CONTRACT DRAWINGS. FINAL REQUIREMENT OF THIS CONTRACT WILL BE TO CERTIFY THE BUILDING AS A FULLY SPRINKLED BUILDING UNDER NFPA 13 GUIDELINES. PRESSURE AND FLOW TEST WILL BE PROVIDED TO ENGINEER/ARCHITECT FOR REVIEW BEFORE SUBSTANTIAL COMPLETION IS GRANTED.

SCOPE OF WORK

- 1 THE PROVISION AND INSTALLATION OF SPRINKLER COVERAGE TO LOWER (ENTRANCE) AND UPPER (MECHANICAL) PORTION OF THE NEW VESTIBULE. THIS TO INCLUDE THE ADDITION OF A NEW INSPECTORS TEST STATION AS NOTED AND A FULL BUILDING PRESSURE TEST. NOTE THAT THIS IS AN EXISTING SYSTEM AND MODIFICATIONS SHALL ONLY BE IN AREAS AS NOTED, UNLESS PIPE SIZING DICTATES OTHERWISE.
- 2 NOTE THAT THIS IS A DELEGATED DESIGN AND A FIRE PROTECTION ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA ID REQUIRED TO PROVIDE FULL CALCULATIONS, SIGNED AND SEALED.
- 3 A FULL SITE SURVEY OF THE EXISTING SYSTEM TO ASCERTAIN SIZES FOR NEW SUPPRESSION REQUIREMENTS.



SMALL PRIMATE HOLDING LOCATION

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |



M P Engineer
Wick Fisher White
Federal Reserve Bank Building
100 N. Independence Mall West
Suite 5 SE
Philadelphia, PA 19106
Tele: 215-627-0200
WFW PROJECT # - 190019

PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
FIRE PROTECTION NEW WORK

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

DRAWN BY
AO

CHECKED BY
AO

FP1.0

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

NOTES: 1. SEE LIGHTING FIXTURE SCHEDULE FOR MANUFACTURER TYPES AND MOUNTING.

LEGEND

(NOT ALL SYMBOLS MAY BE USED ON DRAWINGS)

- LIGHTING FIXTURE, RECESSED, SURFACE OR PENDENT MOUNTED. CAPITAL LETTER INDICATES FIXTURE TYPE (SEE FIXTURE SCHEDULES ON DWG. E-XX).
- LIGHTING FIXTURE ON NIGHT LIGHT CIRCUIT
- DOWNLIGHT FIXTURE
- EXIT LIGHT, CEILING MOUNTED. (ARROWS INDICATE DIRECTION OF EXIT).
- EXIT LIGHT, WALL MOUNTED. (ARROWS INDICATE DIRECTION OF EXIT).
- WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - WALL MOUNTED WITH MANUAL OVERRIDE SWITCH
- SWITCH, SINGLE POLE
- SWITCH, THREE POLE
- SWITCH, FOUR POLE
- SWITCH AND PILOT LIGHT COMBINATION, SWITCH SAME AS SINGLE POLE TOGGLE, PILOT LIGHT, RED NEON, 1/25 W, 125 OR 277 VOLT, RECESSED WALL MOUNTED.
- SWITCH, SAME AS SINGLE POLE TOGGLE, EXCEPT KEY OPERATED.
- DIMMER SWITCH, INCANDESCENT 120 VOLT, WATTAGE SIZE AS NOTED IN SPECIFICATIONS.
- SWITCH-MANUAL MOTOR STARTER WITH THERMAL OVERLOAD.
- WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR #DT200 CEILING MTD
- WATT STOPPER PIR OCCUPANCY SENSOR WPIR - SMALL BATHROOMS
WATT STOPPER PIR OCCUPANCY SENSOR #CI-205-1 - VESTIBULE CEILING MTD
- WATT STOPPER ULTRASONIC OCCUPANCY SENSOR #WT-1105- STALL BATHROOMS
WATT STOPPER ULTRASONIC OCCUPANCY SENSOR #WT-2255-CORRIDORS - CEILING MOUNTED
- WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - WALL MOUNTED WITH OVERRIDE SWITCH
- WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - CEILING MTD, 360 DEG
- RECEPTACLE, DUPLEX, 125 VOLT, 20 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE. GF=GROUND FAULT INTERRUPTER.
- DOUBLE DUPLEX RECEPTACLE RECESSED WALL MOUNTED, 2P, 3W, 125 VOLT, 20 AMPERE
- SAME AS ABOVE EXCEPT MTD. IN RECESSED FLOOR BOX.
- DATA OUTLET WITH DEVICE IN PLATE, MOUNTED IN RECESSED FLOOR BOX & WIRED TO DATA SYSTEM.
D = DUMB TERMINAL OUTLET
- SAME AS ABOVE EXCEPT WALL MOUNTED 16" AFF TO BOTTOM OF BOX. D = DUMB TERMINAL OUTLET
- RECEPTACLE, SINGLE, 125 VOLT, 20 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE.
- RECEPTACLE, SINGLE CLOCK OUTLET WITH HANGER, 125 VOLT, 15 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE, WALL MOUNTED 7"-4" TOP OF BOX, CLOCK BY GENERAL CONTRACTOR.
- WALL MOUNTED RECESSED RECEPT, 2P, 3W, 125 VOLTS, 20 AMPS, MOUNT BOTTOM OF BOX 16" A.F.F.
- SAME AS ABOVE EXCEPT ISOLATED GROUND.
- SPECIAL PURPOSE OUTLET, NEMA RATING AS INDICATED ON DRAWINGS.
- TELEPHONE OUTLET WITH JACK DEVICE IN PLATE, RECESSED WALL MOUNTED, 16" A.F.F. WIRED TO THE TELEPHONE SYSTEM
- SAME AS ABOVE EXCEPT MOUNT 48" TO TOP OF BOX.
- TELEPHONE OUTLET WITH JACK DEVICE IN PLATE, MOUNTED IN RECESSED FLOOR BOX & WIRED TO TELEPHONE SYSTEM CABINET.
- DATA OUTLET WITH JACK DEVICE IN PLATE, RECESSED WALL MOUNTED, WIRED TO THE DATA SYSTEM
- SAFETY SWITCH, NON-FUSED, HEAVY DUTY.
- SAFETY SWITCH, FUSED, HEAVY DUTY.
- MOTOR STARTER, COMBINATION TYPE WITH DISCONNECT MEANS (CIRCUIT BREAKER, FUSED SWITCH OR NON-FUSED SWITCH).
- CONTACT, MAGNETIC.
- WIREMOLD RACEWAY 4000 WITH DIVIDER

REFER TO ELECTRICAL LIGHTING PLANS AND ARCHITECTURAL DWGS. FOR EXACT MOUNTING OF LIGHTING FIXTURES.

RECESSED WALL MOUNT TOP OF BOX 48" A.F.F. TYPICAL. LOWER CASE LETTER INDICATES ASSOCIATED LIGHTING FIXTURE.

REFER TO ELECTRICAL POWER PLANS AND ARCHITECTURAL DRAWINGS FOR EXACT MOUNTING LOCATIONS OF OUTLETS.

VOLTAGE, SIZE, NUMBER OF POLES, FUSE SIZE OR CIRCUIT BREAKER SIZE AS REQUIRED.

- MOTOR
- GROUND POINT.
- JUNCTION BOX, RECESSED INSTALLATION UNLESS OTHERWISE NOTED.
- ELECTRICAL PANEL, 480v, 208v, 3 PHASE, 4 WIRES
- CONDUIT WITH WIRE, EXPOSED TURNING DOWN
- CONDUIT WITH WIRE, CONCEALED IN CEILING OR WALLS.
- HOMERUN CONDUIT WITH WIRE, TO LIGHTING/POWER PANEL. NUMERALS INDICATE BREAKER NUMBER.
- CONDUIT WITH WIRE, CONCEALED BELOW FLOOR
- EQUIPMENT IDENTITY - MECHANICAL, PLUMBING OR ELECTRICAL.
- THERMOSTAT.
- TRANSFORMER.
- METER, ELECTRIC.
- PHASE.
- SMOKE DETECTOR, CEILING MOUNTED.
- DUCT MOUNTED SMOKE DETECTOR
- HEAT DETECTOR, CEILING MOUNTED.
- SMOKE DETECTOR WITH RELAY - WIRE TO ELEVATOR CONTROLLER
- HEAT DETECTOR - WIRE TO ELEVATOR BREAKER SHUNT TRIP
- FIRE ALARM PULL STATION, MANUAL, WALL MOUNTED, 48" A.F.F.
- FIRE ALARM COMBINATION, AUDIO/VISUAL, WALL MOUNTED
- FIRE ALARM STROBE, WALL MOUNTED.
- FIRE ALARM MINI HORN/STROBE WALL MOUNTED
- FIRE ALARM CONTROL PANEL, RECESSED WALL MOUNTED.
- FIRE ALARM ANNUNCIATOR PANEL
- FIRE JACK AND FIRE FIGHTER'S PHONE.
- FIRE ALARM SPEAKER AND STROBE
- FIRE ALARM SPEAKER
- END OF LINE RESISTOR.
- SPEAKER, CEILING MOUNTED.
- SPEAKER, WALL MOUNTED.
- SWITCH, FIRE ALARM SYSTEM, (FS) FLOW SWITCH, (PS) PRESSURE SWITCH.
- SPRINKLER TAMPER SWITCH, FIRE ALARM SYSTEM.
- PUBLIC ADDRESS WALL CONTROL STATION/INTERCOM
- TV OUTLET
- DOOR STRIKE, ELECTRIC.
- PHOTO CELL.
- DOOR HOLDING DEVICE, ELECTRIC.
- KEYPAD - ACCESS CONTROL SYSTEM
- INTERCOM STATION
- PUSHBUTTON STATIONS
- ULTRASONIC OCCUPANCY SENSOR & POWER PACK ASSEMBLY.
- PASSIVE INFRARED LOW TEMPERATURE OCCUPANCY SENSOR & POWER PACK ASSEMBLY.
- CONTROL BOX FOR ELECTRONIC WATER FLUSHING SYSTEM FURNISHED BY PLUMBING CONTRACTOR
- FIRE PROTECTION WATER FLOW RELEASE CONTROL PANEL, FURNISHED BY PLUMBING CONTRACTOR.
- AREA OF REFUGE STATION - RESCUE ASSISTANCE CALL STATION CORNELL 4200 SERIES

GENERAL NOTES:

1. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL LIGHTING, ELECTRIC DEVICES, AND CIRCUITING SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE NEW AND PERFORMED IN AS NEAT AND AS CLEAN A MANNER AS POSSIBLE AND SHALL COMPLY WITH THE LATEST REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, OSHA AND ALL OTHER GOVERNING AGENCIES HAVING JURISDICTION.
3. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF THIS WORK WITH ALL TRADES.
4. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
5. THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS IN FIELD AND SHALL REPORT DISCREPANCIES, IF ANY, TO THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO STARTING ANY WORK.
6. THE CONTRACTOR SHALL COORDINATE HIS WORK VERY CLOSELY WITH ELECTRIC COMPANY FOR ELECTRIC SERVICE AND WITH TELEPHONE COMPANY FOR TELEPHONE SERVICE.
7. THE CONTRACTOR, BEFORE SUBMITTING HIS BID ON THE WORK, MUST VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL VISIBLE EXISTING CONDITIONS. AS A RESULT OF HAVING VISITED THE PREMISES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE WORK AS IT RELATES TO SUCH VISIBLE EXISTING CONDITIONS. THE SUBMISSION OF A BID WILL BE CONSIDERED AN ACKNOWLEDGEMENT ON THE PART OF THE BIDDER OF HIS VISITATION TO THE SITE.
8. EXACT LOCATION AND MOUNTING OF ALL EQUIPMENT SHALL BE VERIFIED IN FIELD.
9. CIRCUIT NUMBERS SHOWN ARE FOR IDENTIFICATION ONLY. ACTUAL CIRCUIT NUMBERS MAY VARY. CONTRACTOR SHALL BALANCE PANELS AS CLOSE AS POSSIBLE.
10. ALL SPECIAL SYSTEM WIRING REQUIREMENTS SHALL BE AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
11. ALL WIRING AND CONDUIT TO BE CONCEALED IN WALLS AND ABOVE FINISHED CEILINGS UNLESS OTHERWISE NOTED. THE EC SHALL COORDINATE WORK WITH THAT OF THE GENERAL CONSTRUCTION CONTRACTOR DURING WALL AND CEILING CONSTRUCTION.

ABBREVIATIONS

| | | | |
|--------|---------------------------------|--------|-------------------------------|
| A | AMP | XFMR | TRANSFORMER |
| AFF | ABOVE FINISHED FLOOR | MTD | MOUNTED |
| BRKR | BREAKER | PECO | PHILADELPHIA ELECTRIC COMPANY |
| C | CONDUIT | NIC | NOT IN CONTRACT |
| CKT | CIRCUIT | UON | UNLESS OTHERWISE NOTED |
| CB | CIRCUIT BREAKER | CONV | CONVENIENCE |
| DWG | DRAWING | RECEPT | RECEPTACLE |
| EXIST. | EXISTING | | |
| GND | GROUND | | |
| GFII | GROUND FAULT INTERRUPTER | | |
| WP | WEATHERPROOF | | |
| EC | ELECTRICAL CONTRACTOR | | |
| GC | GENERAL CONSTRUCTION CONTRACTOR | | |

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR
MARC OROGVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
ELECTRICAL SYMBOLS AND ABBREVIATIONS

| | |
|---------------|-------------|
| PROJECT NO. | DRAWING NO. |
| 71-19-4365-01 | |
| DATE | 06/07/19 |
| SCALE | AS NOTED |
| DRAWN BY | DP/GP |
| CHECKED BY | GSP |

E0.0

NOT FOR CONSTRUCTION

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR

MARC ORGOVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

Small Primate Holding
Mechanical Upgrades

DRAWING TITLE

ELECTRICAL DEMOLITION
SMALL PRIMATE

PROJECT NO.
71-19-4365-01

DRAWING NO.

DATE
06/07/19

SCALE
AS NOTED

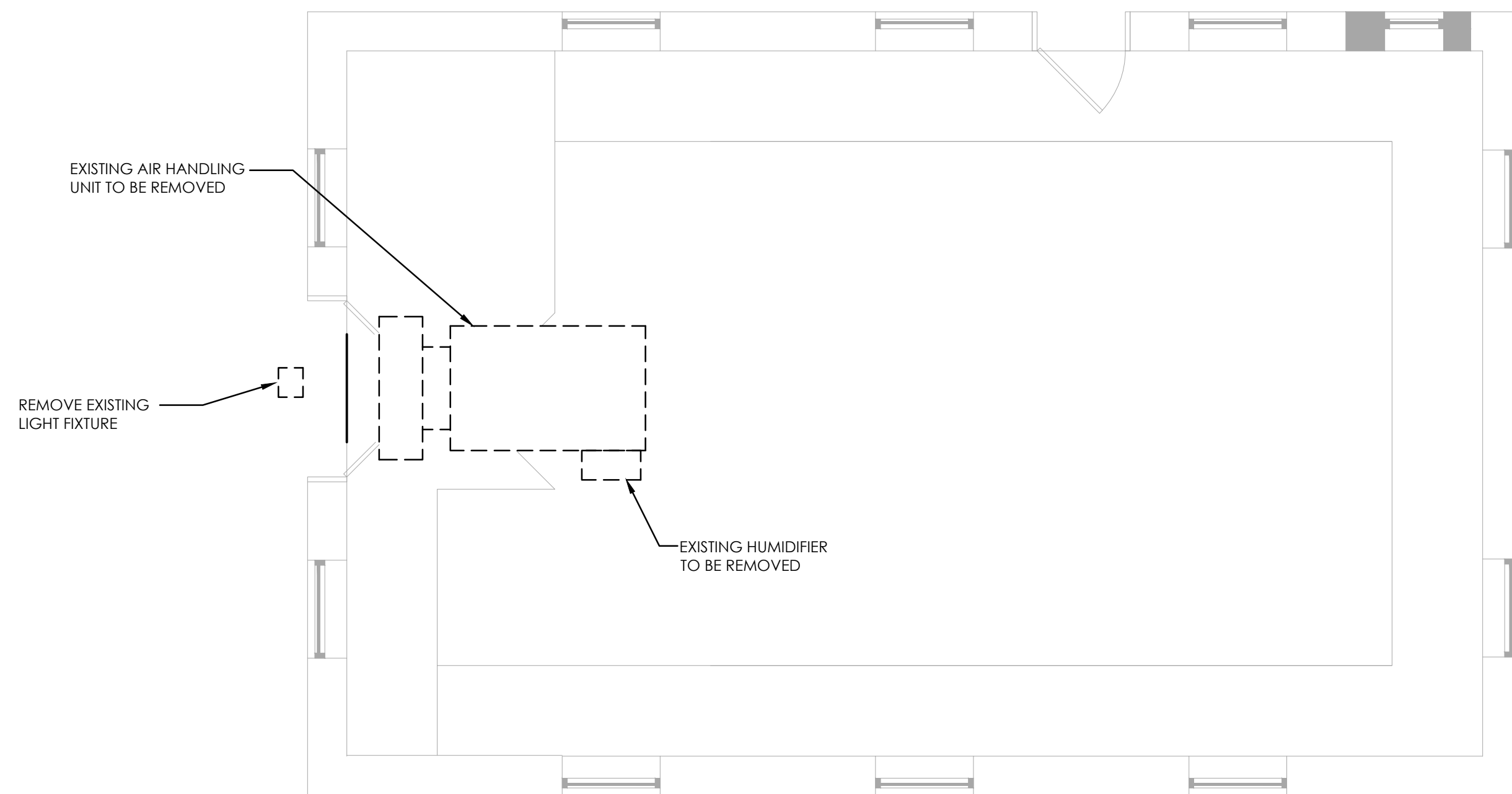
DRAWN BY
DP/GP

CHECKED BY
GSP

ED3.0

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



ELECTRICAL DEMOLITION NOTES

1. REMOVE EXISTING MECHANICAL EQUIPMENT AND LIGHT FIXTURE AS INDICATED ON THE DRAWING.
2. ALL ELECTRICAL DEVICES AND WIRING/CONDUIT ASSOCIATED WITH DEMOLISHED MECHANICAL EQUIPMENT SHALL BE REMOVED. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DEMOLITION AND ADDITIONAL NOTES.
3. E.C. SHALL VERIFY THE PANEL DESIGNATION AND CIRCUIT NUMBER FOR EACH DEVICE TO BE REMOVED.
4. ALL SYMBOLS SHOWN LIGHTLY SOLID ARE EXISTING ELECTRICAL DEVICES/EQUIPMENT TO REMAIN.
5. ALL WIRING/CONDUIT LEFT UNUSED SHALL BE REMOVED TO ITS POINT OF ORIGIN AND CIRCUIT BREAKER TO BECOME SPARE.
6. PANELBOARDS WHICH ARE AFFECTED BY THE DEMOLITION AND NEW WORK SHALL HAVE THE PANEL SCHEDULES REVISED.
7. COORDINATE ALL WORK WITH OTHER TRADES.
8. ELECTRICAL CONTRACTOR SHALL NOT DISCONNECT ANY EQUIPMENT, OR ELECTRICAL CIRCUITS IN THE RENOVATED AREA WITHOUT PRIOR NOTIFICATION AND PERMISSION FROM MAINTENANCE AND ENGINEERING DEPARTMENT. EXTREME CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO SURROUNDING AREAS.
9. VERIFY ALL CONDITIONS AT JOB SITE.

ELECTRICAL SMALL PRIMATE PLAN - DEMOLITION

1
ED4.0

1/4" = 1'-0"

DEMOLITION GENERAL NOTES:

1. DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
2. WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE, AREAS BEYOND THE IMMEDIATE WORK) CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
3. PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
5. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFRESHED IN AN APPROVED MANNER.
6. MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
8. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
9. REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE, DO NOT ENDANGER OTHER WORK.
11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS, TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERRECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL, PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
12. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA OR THE OWNER'S INSURANCE UNDERWRITER.
13. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL, COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS.
15. NOT ALL EXISTING EQUIPMENT TO BE REMOVED MAY BE INDICATED, CONTRACTOR SHALL VERIFY ALL REMOVALS WITH ARCHITECT & ZOO OFFICIAL.

| EXISTING PANELBOARD | | | | | | | | | | | | | |
|---------------------|-----|---------------|-----------|----------------------|------|-----|-----|-----|-----------|----------------------|-----|-----------------|------|
| Panel | | A | | | | | | | Section | | | 120 / 208 Volts | |
| Location | | SMALL PRIMATE | | | | | | | 3 Phase | | | 4 Wire | |
| Mounting | | SURFACE | | | | | | | 10,000 | | | Min. A.I.C. | |
| 150/3 MAIN MCB | | | | | | | | | | | | | |
| KVA | | | Directory | | | | | | | KVA | | | |
| Wire | A | B | C | Bkr | Ckt | ABC | Ckt | Bkr | Directory | A | B | C | Wire |
| .3 | | 1.5 | | (E) RECEPTACLES | 20/1 | 1 | ↓ | 2 | 20/1 | (E) RECEPTACLES | 1.5 | | |
| | | | | (E) RECEPTACLES | 20/1 | 3 | ↓ | 4 | 20/1 | (E) RECEPTACLES | .3 | | |
| | | | | (E) RECEPTACLES | 20/1 | 5 | ↓ | 6 | 20/1 | (E) LIGHTS/EXIT | | 1.4 | |
| #12 | 1.3 | | | (R) AHU | 20 | 7 | ↓ | 8 | 20/1 | (E) EXHAUST FAN | 1.0 | | |
| #12 | 1.3 | 1.3 | | | 3 | 11 | ↓ | 10 | 30 | (R) HUMIDIFIER | 2.7 | #10 | |
| #12 | | | 1.3 | | 1 | 13 | ↓ | 12 | | | 2.7 | #10 | |
| | | | | SPARE | 50 | 13 | ↓ | 14 | 3 | | 2.7 | #10 | |
| | | | | | 2 | 15 | ↓ | 16 | 20/1 | (E) ATC | .5 | | |
| | | .5 | | (E) FIRE ALARM PANEL | 20/1 | 17 | ↓ | 18 | 20/1 | EXISTING | | 1.0 | |
| .1 | | | | (E) BELL | 20/1 | 19 | ↓ | 20 | 20/1 | (E) GARBAGE DISPOSER | 1.0 | | |
| | | 1.0 | | (E) CIRC. PUMP | 20/1 | 21 | ↓ | 22 | 20/1 | (E) HWH | | 1.0 | |
| | | | | SPACE | | 23 | ↓ | 24 | 20/1 | SPACE | | .5 | |
| | | | | SPACE | | 25 | ↓ | 26 | 20/1 | SPACE | | | |
| | | | | SPACE | | 27 | ↓ | 28 | 20/1 | SPACE | | | |
| | | | | SPACE | | 29 | ↓ | 30 | 20/1 | SPACE | | | |
| | .4 | 2.5 | 2.0 | | | | | | | | 3.5 | 1.8 | 2.9 |

| | |
|---------|------|
| Phase A | 3.9 |
| Phase B | 4.3 |
| Phase C | 4.9 |
| Total | 14.1 |

MECH. EQUIPMENT REMOVED

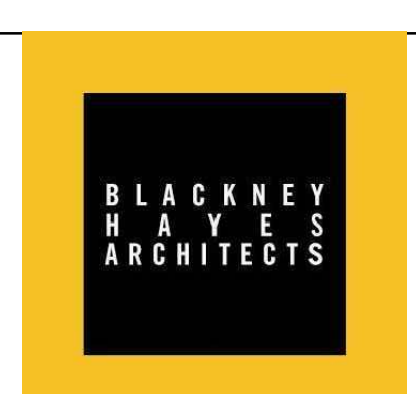
MECH. EQUIPMENT REMOVED

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR
MARC ORGOVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
ELECTRICAL SMALL PRIMATE PLANS

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

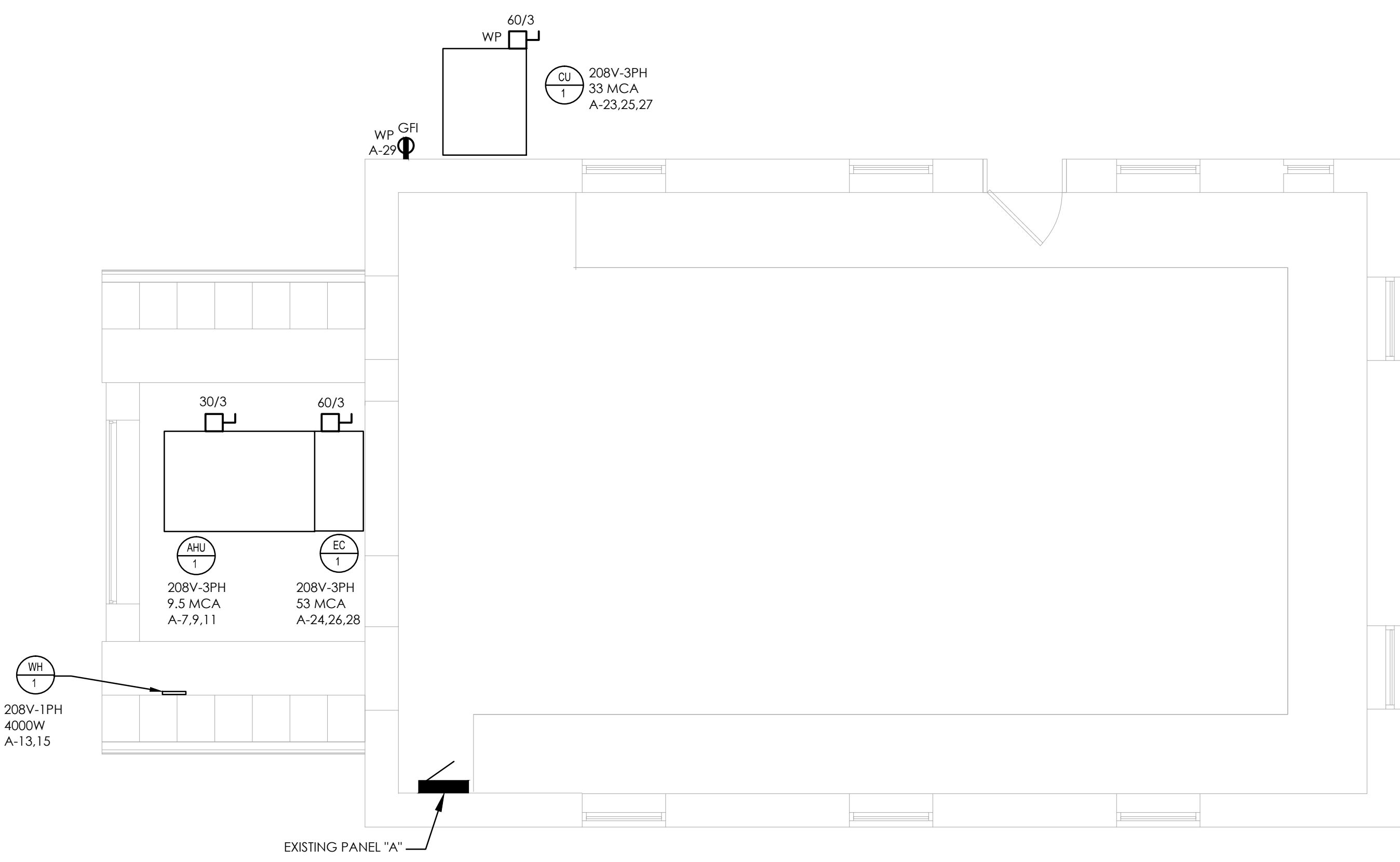
DRAWN BY
DP/GP

CHECKED BY
GSP

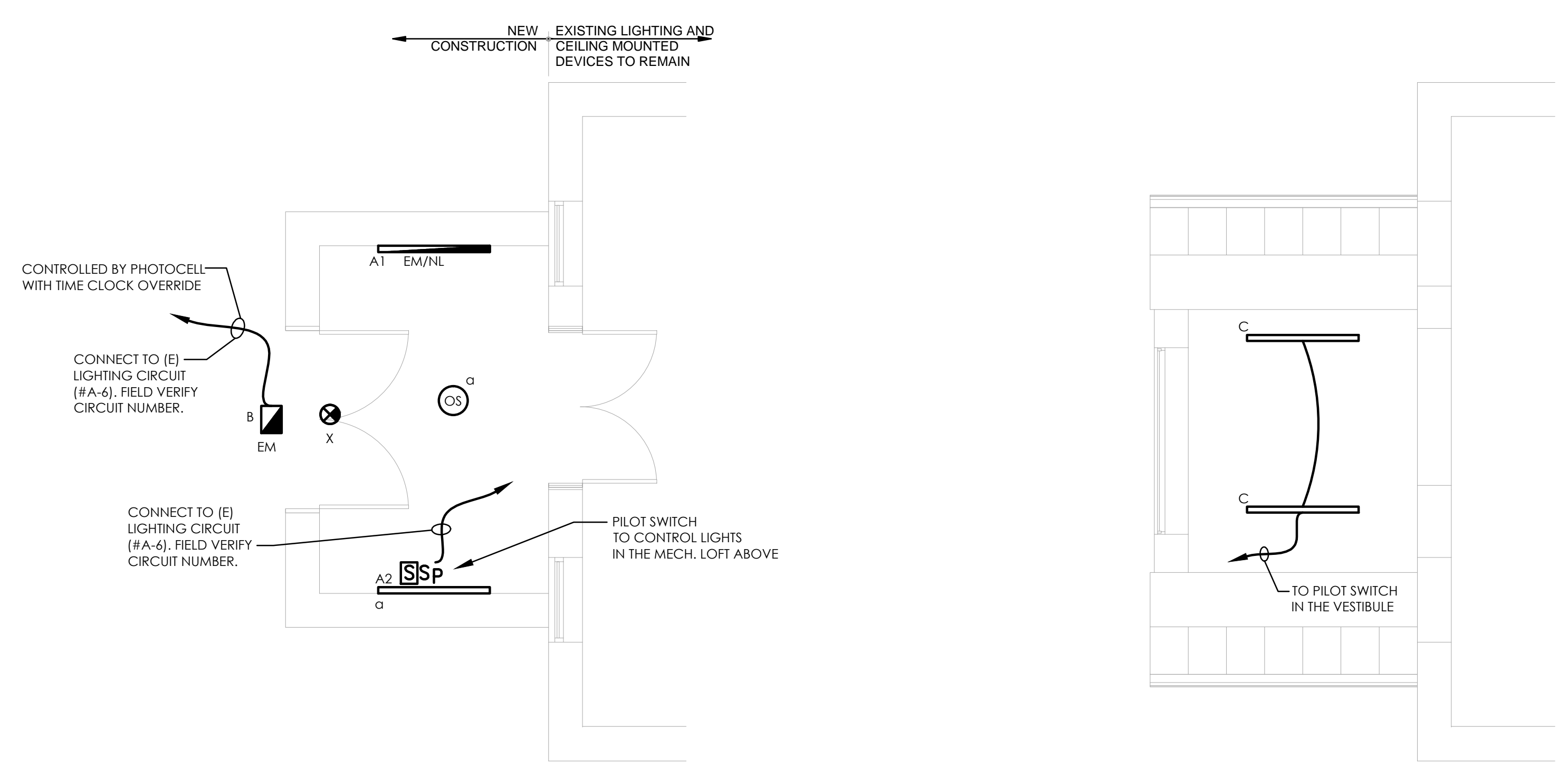
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

NOT FOR CONSTRUCTION

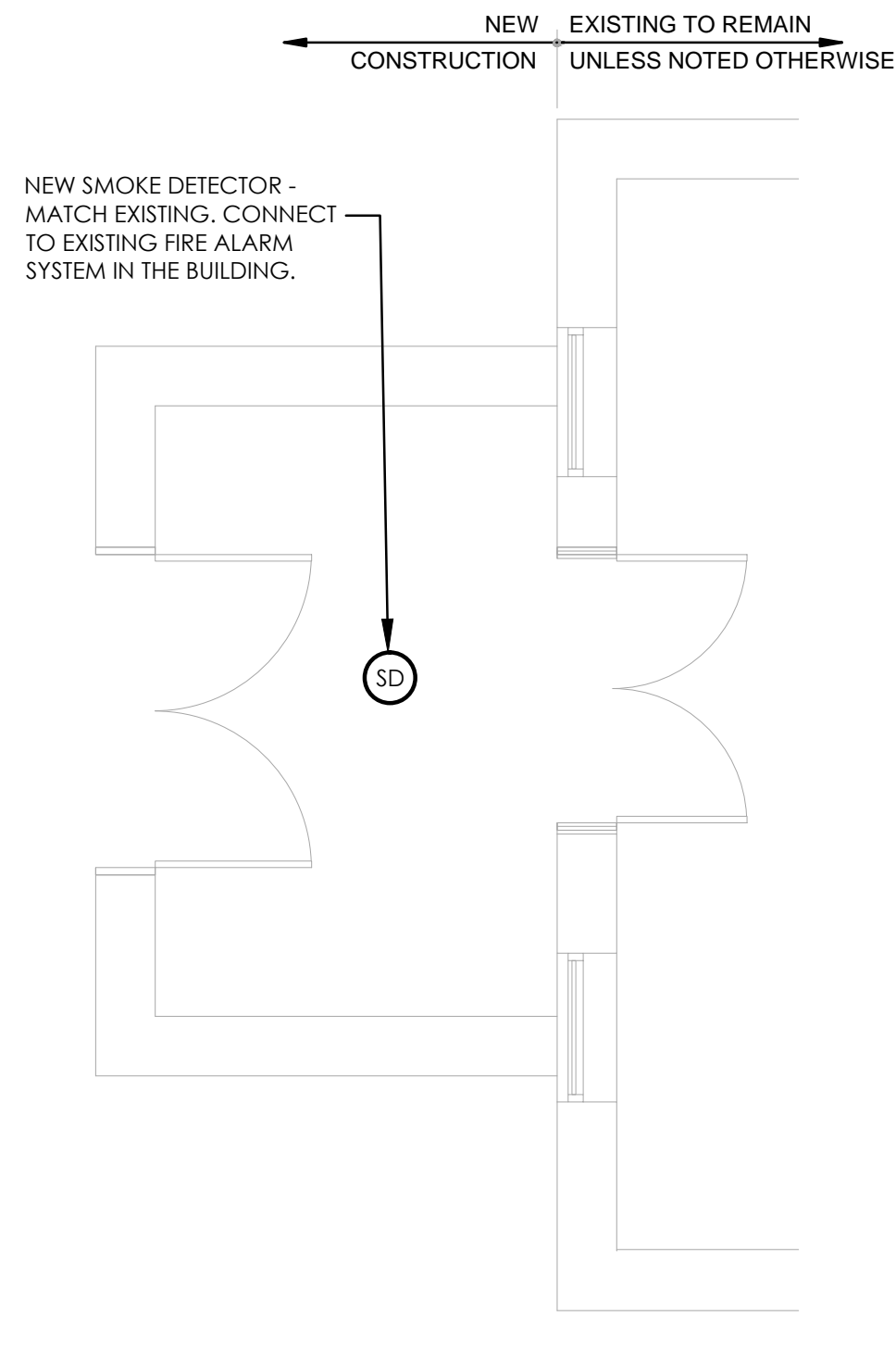
E3.0



1 SMALL PRIMATE - NEW WORK - POWER
1/4" = 1'-0"



2 SMALL PRIMATE - NEW WORK - LIGHTING
1/4" = 1'-0"



1 SMALL PRIMATE - NEW WORK - FIRE ALARM
1/4" = 1'-0"

EXISTING PANELBOARD

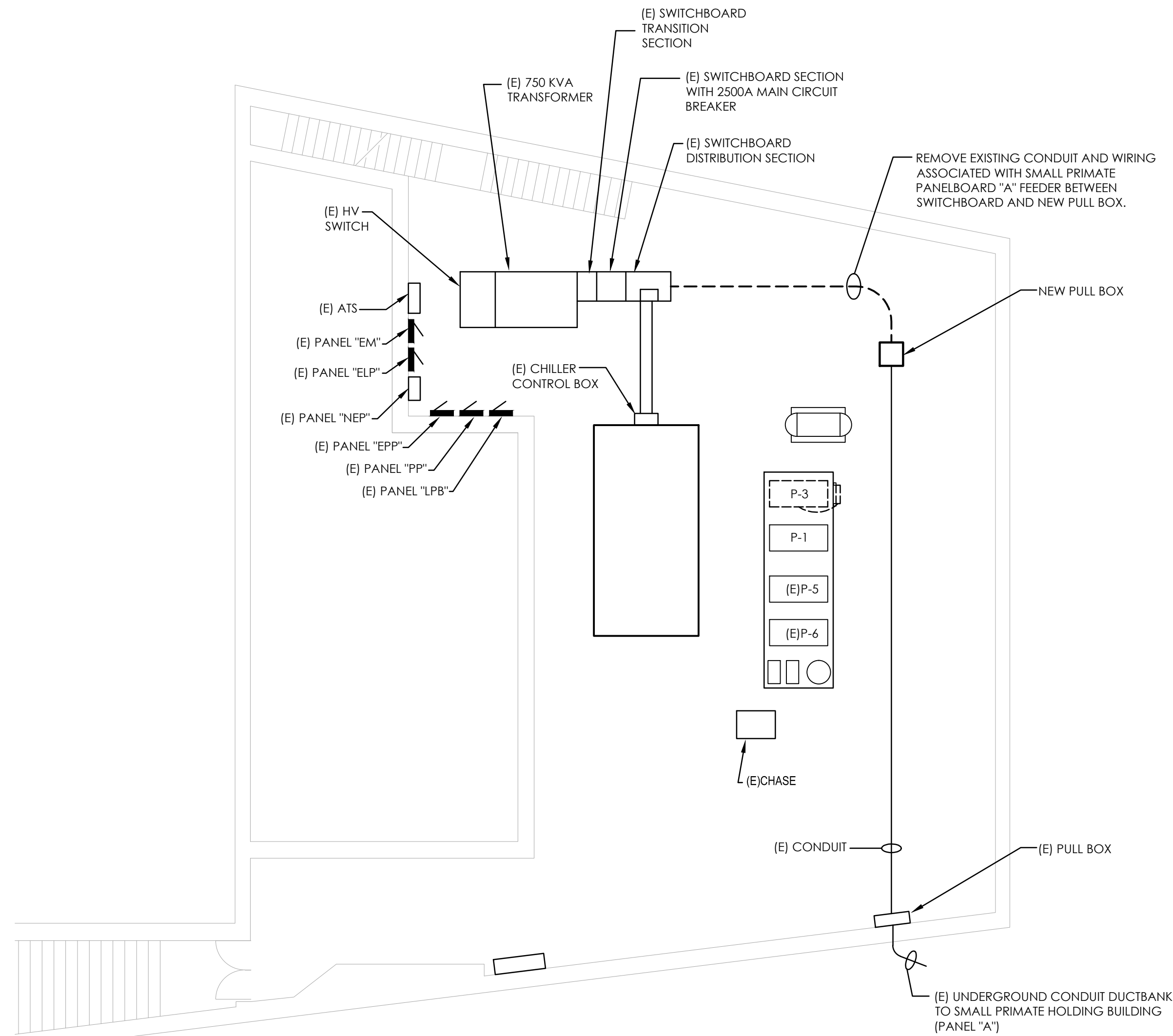
Panel A Section _____ 120 / 208 Volts
 Location SMALL PRIMATE 3 Phase 4 Wire
 Mounting SURFACE 10,000 Min. A.I.C.

| Wire | KVA | | | 150/3 MAIN MCB | | | | | | | | | | KVA | | | Wire |
|------|------|------|------|----------------------|------|-----|------|------|------|----------------------|------|------|------|-----|--|--|------|
| | A | B | C | Directory | Bkr | Ckt | ABC | Ckt | Bkr | Directory | A | B | C | | | | |
| .3 | 1.5 | | | (E) RECEPTACLES | 20/1 | 1 | 1 | 2 | 20/1 | (E) RECEPTACLES | 1.5 | | | | | | |
| | 1.5 | | | (E) RECEPTACLES | 20/1 | 3 | 4 | 6 | 20/1 | (E) LIGHTS/EXITS | | | 1.4 | | | | |
| #12 | 1.14 | | | (N) AHU | 15 | 7 | 8 | 8 | 20/1 | (E) EXHAUST FAN | 1.0 | | | | | | |
| #12 | 1.14 | | | | 9 | 10 | 30 | | | SPARE | | | | | | | |
| #12 | 1.14 | | | | 3 | 11 | 12 | | | | | | | | | | |
| #10 | | | | WH-1 | 30 | 13 | 14 | 3 | | | | | | | | | |
| | | | | | 2 | 15 | 16 | 20/1 | | (E) ATC | | .5 | | | | | |
| | .5 | | | (E) FIRE ALARM PANEL | 20/1 | 17 | 18 | 20/1 | | EXISTING | | 1.0 | | | | | |
| | | | | (E) BELL | 20/1 | 19 | 20 | 20/1 | | (E) GARBAGE DISPOSER | 1.0 | | | | | | |
| .1 | 1.0 | | | (E) CIRC. PUMP | 20/1 | 21 | 22 | 20/1 | | (E) HWH | | 1.0 | | | | | |
| #6 | 3.96 | | | CU-1 | 45 | 23 | 24 | 60 | | EC-1 | | 6.36 | | | | | |
| #6 | 3.96 | | | | 25 | 25 | 26 | | | | | 6.36 | | | | | |
| #6 | 3.96 | | | EXTERIOR RECEPT. | 3 | 27 | 28 | 3 | | | | 6.36 | | | | | |
| #12 | .18 | | | | 29 | 30 | 20/1 | | | SPACE | | | | | | | |
| | 5.5 | 5.46 | 6.14 | | | | | | | | 9.86 | 6.16 | 8.76 | | | | |

Phase A 15.36
 Phase B 13.62
 Phase C 14.9
 Total 43.88

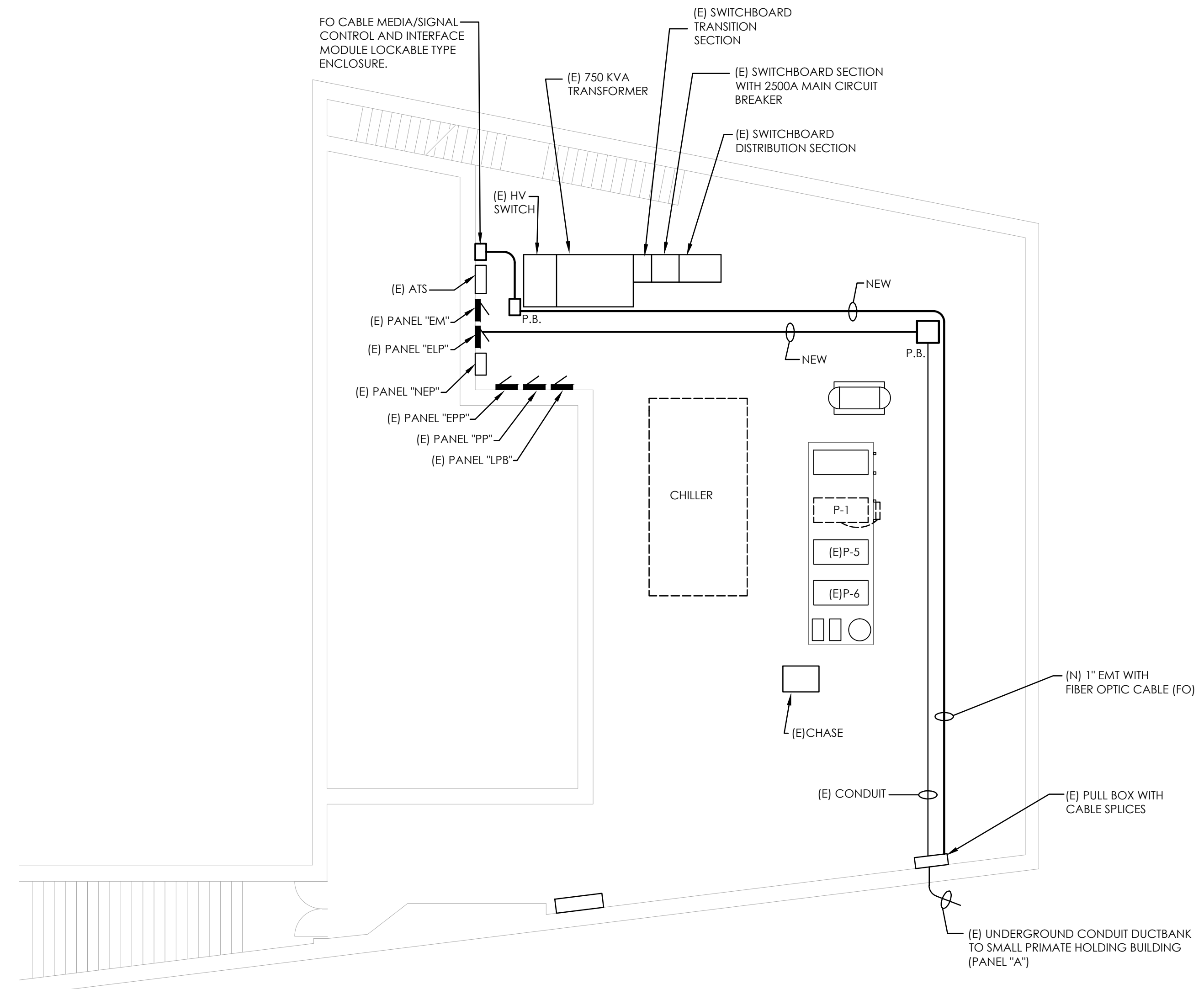
| LIGHTING FIXTURE LEGEND | |
|-------------------------|--|
| | TYPE A1: WALL MOUNTED LINEAR LED: LEDALITE TRUGROOVE 2925LBDWW04_DEW MOUNT AT 6'-8" TO BOTTOM OF FIXTURE AFF |
| | TYPE A2: WALL MOUNTED LINEAR LED: LEDALITE TRUGROOVE 2925LBDWW04_DEW MOUNT AT 6'-8" TO BOTTOM OF FIXTURE AFF; EMERGENCY BATTERY PACK |
| | TYPE B: LED WALL PACK WITH FULL CUT-OFF: GARDCO 121-16L-530-WW-G3-TYPE 3-EBPC-UNV-PCB-BZ; EMERGENCY BATTERY PACK |
| | TYPE C: LINEAR LED UTILITY FIXTURE: DAY-BRITE/CFI FLUXSTREAM FSSEZ-4-40L-835-UNV |
| | TYPE X: EXIT SIGN: EVENLITE RZR3-EM-G-1-WH-1B |

2 MECH LOFT - NEW WORK - LIGHTING
1/4" = 1'-0"



1 ELECTRICAL BASEMENT PLAN (ANIMAL CLINIC) - DEMOLITION

E4.0 1/8" = 1'-0"



2 ELECTRICAL BASEMENT PLAN (ANIMAL CLINIC) - NEW WORK

E4.0 1/8" = 1'-0"

ELECTRICAL DEMOLITION NOTES

1. ALL ELECTRICAL DEVICES AND WIRING/CONDUIT ASSOCIATED WITH DEMOLISHED MECHANICAL EQUIPMENT SHALL BE REMOVED. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DEMOLITION AND ADDITIONAL NOTES.
2. E.C. SHALL VERIFY THE PANEL DESIGNATION AND CIRCUIT NUMBER FOR EACH DEVICE TO BE REMOVED.
3. ALL SYMBOLS SHOWN LIGHTLY SOLID ARE EXISTING ELECTRICAL DEVICES/EQUIPMENT TO REMAIN.
4. ALL WIRING/CONDUIT LEFT UNUSED SHALL BE REMOVED TO ITS POINT OF ORIGIN AND CIRCUIT BREAKER TO BECOME SPARE.
5. PANELBOARDS WHICH ARE AFFECTED BY THE DEMOLITION AND NEW WORK SHALL HAVE THE PANEL SCHEDULES REVISED.
6. COORDINATE ALL WORK WITH OTHER TRADES.
7. ELECTRICAL CONTRACTOR SHALL NOT DISCONNECT ANY EQUIPMENT, OR ELECTRICAL CIRCUITS IN THE RENOVATED AREA WITHOUT PRIOR NOTIFICATION AND PERMISSION FROM MAINTENANCE AND ENGINEERING DEPARTMENT. EXTREME CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO SURROUNDING AREAS.
8. VERIFY ALL CONDITIONS AT JOB SITE.

DEMOLITION GENERAL NOTES:

1. DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
2. WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE. AREAS BEYOND THE IMMEDIATE WORK) CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
3. PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
5. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED MANNER.
6. MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
8. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
9. REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERCTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
12. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA OR THE OWNER'S INSURANCE UNDERWRITER.
13. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS.
15. NOT ALL EXISTING EQUIPMENT TO BE REMOVED MAY BE INDICATED, CONTRACTOR SHALL VERIFY ALL REMOVALS WITH ARCHITECT & ZOO OFFICIAL.

| REVISIONS | | |
|-----------|----------|------------------------|
| ISSUE | DATE | REVISIONS |
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR
MARC ORGOVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
ELECTRICAL BASEMENT PLANS - ANIMAL CLINIC

PROJECT NO. 71-19-4365-01

DRAWING NO. **E4.0**

DATE 06/07/19

SCALE AS NOTED

DRAWN BY DP/GP

CHECKED BY GSP

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

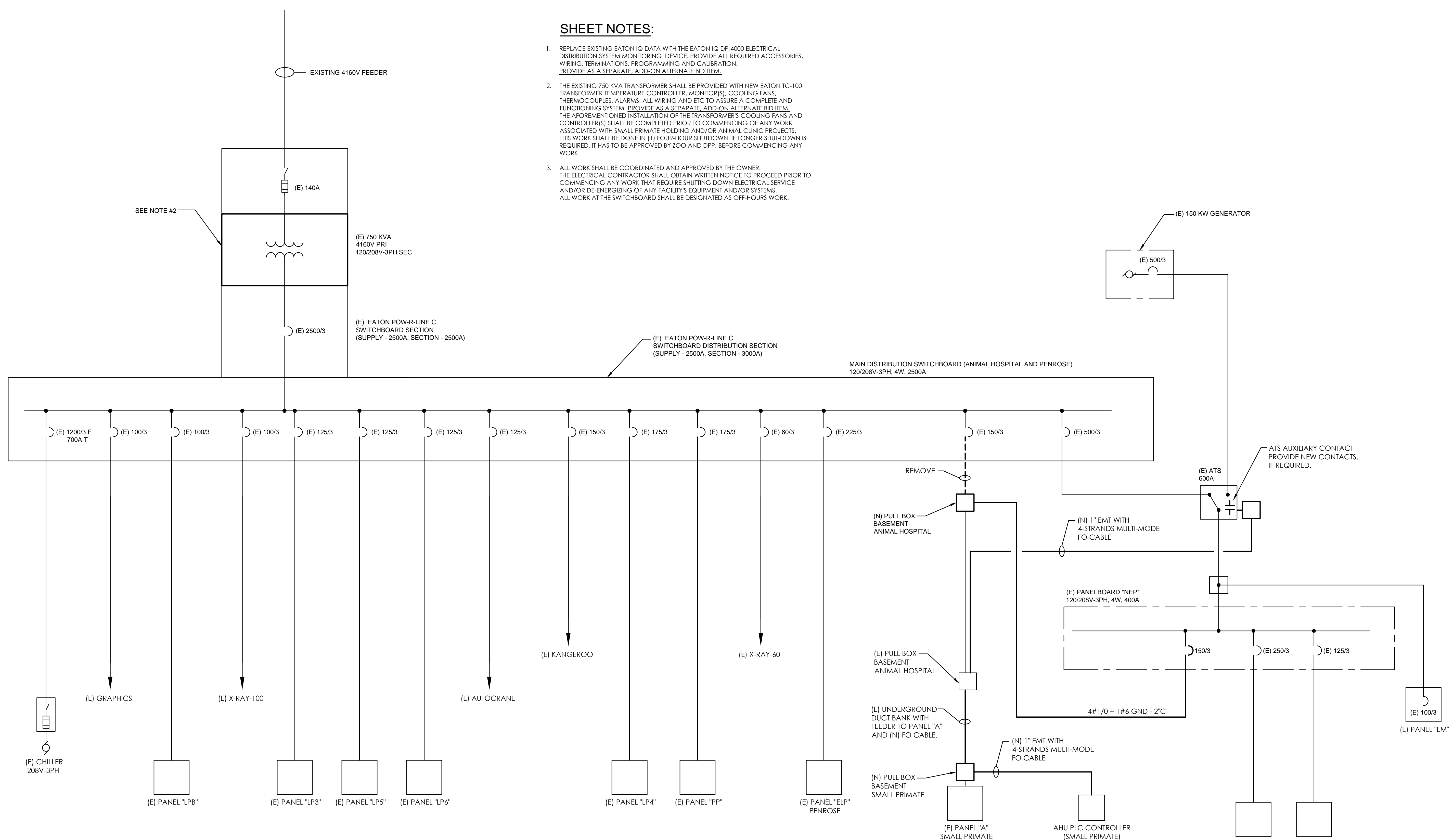
REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



SHEET NOTES:

- 1. REPLACE EXISTING EATON IQ DATA WITH THE EATON IQ DP-4000 ELECTRICAL DISTRIBUTION SYSTEM MONITORING DEVICE. PROVIDE ALL REQUIRED ACCESSORIES, WIRING, TERMINATIONS, PROGRAMMING AND CALIBRATION. PROVIDE AS A SEPARATE, ADD-ON ALTERNATE BID ITEM.
- 2. THE EXISTING 750 KVA TRANSFORMER SHALL BE PROVIDED WITH NEW EATON TC-100 TRANSFORMER TEMPERATURE CONTROLLER, MONITOR(S), COOLING FANS, THERMOCOUPLES, ALARMS, ALL WIRING AND ETC TO ASSURE A COMPLETE AND FUNCTIONING SYSTEM. PROVIDE AS A SEPARATE, ADD-ON ALTERNATE BID ITEM. THE AFOREMENTIONED INSTALLATION OF THE TRANSFORMER'S COOLING FANS AND CONTROLLER(S) SHALL BE COMPLETED PRIOR TO COMMENCING OF ANY WORK ASSOCIATED WITH SMALL PRIMATE HOLDING AND/OR ANIMAL CLINIC PROJECTS. THIS WORK SHALL BE DONE IN (1) FOUR-HOUR SHUT-DOWN, IF LONGER SHUT-DOWN IS REQUIRED, IT HAS TO BE APPROVED BY ZOO AND DPP, BEFORE COMMENCING ANY WORK.
- 3. ALL WORK SHALL BE COORDINATED AND APPROVED BY THE OWNER. THE ELECTRICAL CONTRACTOR SHALL OBTAIN WRITTEN NOTICE TO PROCEED PRIOR TO COMMENCING ANY WORK THAT REQUIRE SHUTTING DOWN ELECTRICAL SERVICE AND/OR DE-ENERGIZING OF ANY FACILITY'S EQUIPMENT AND/OR SYSTEMS. ALL WORK AT THE SWITCHBOARD SHALL BE DESIGNATED AS OFF-HOURS WORK.



1 SINGLE LINE DIAGRAM
E5.1 NOT TO SCALE

PROJECT COORDINATOR
MARC ORGOVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
ELECTRICAL SINGLE LINE DIAGRAM

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

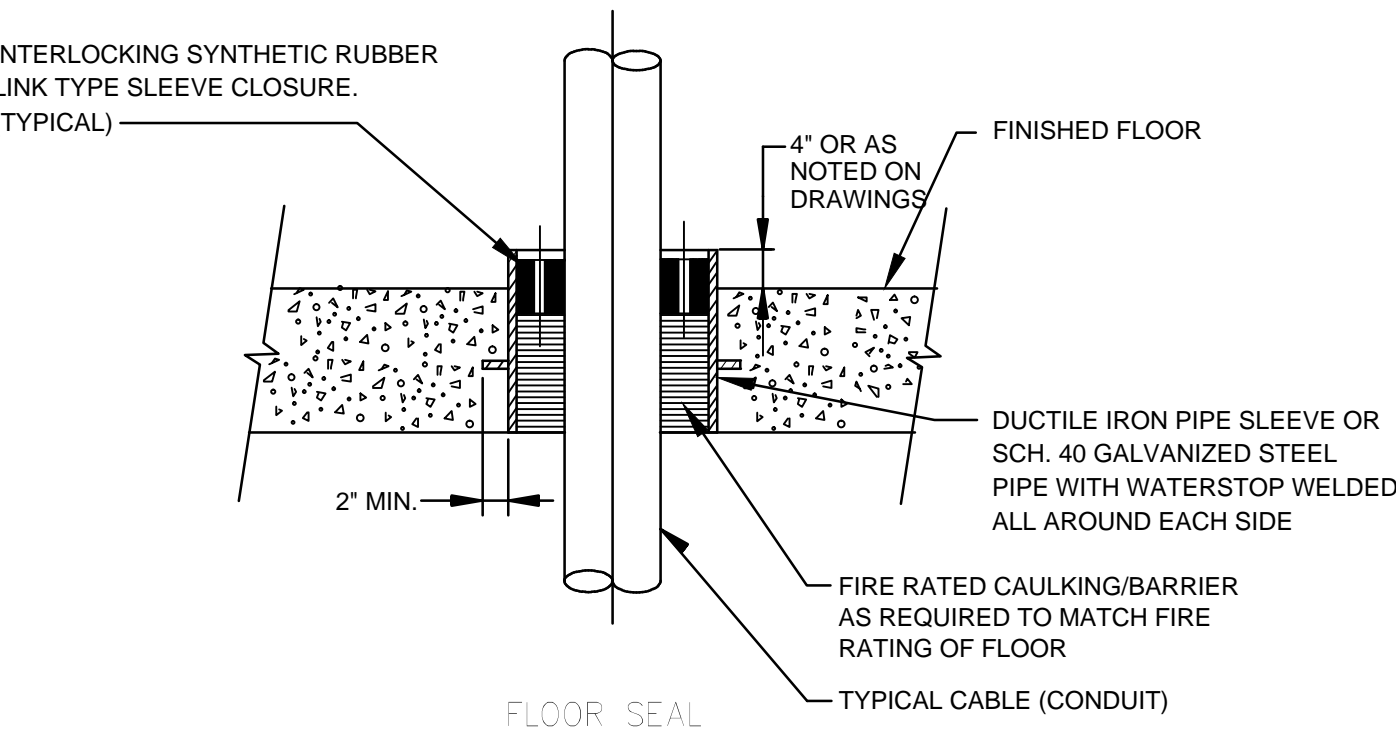
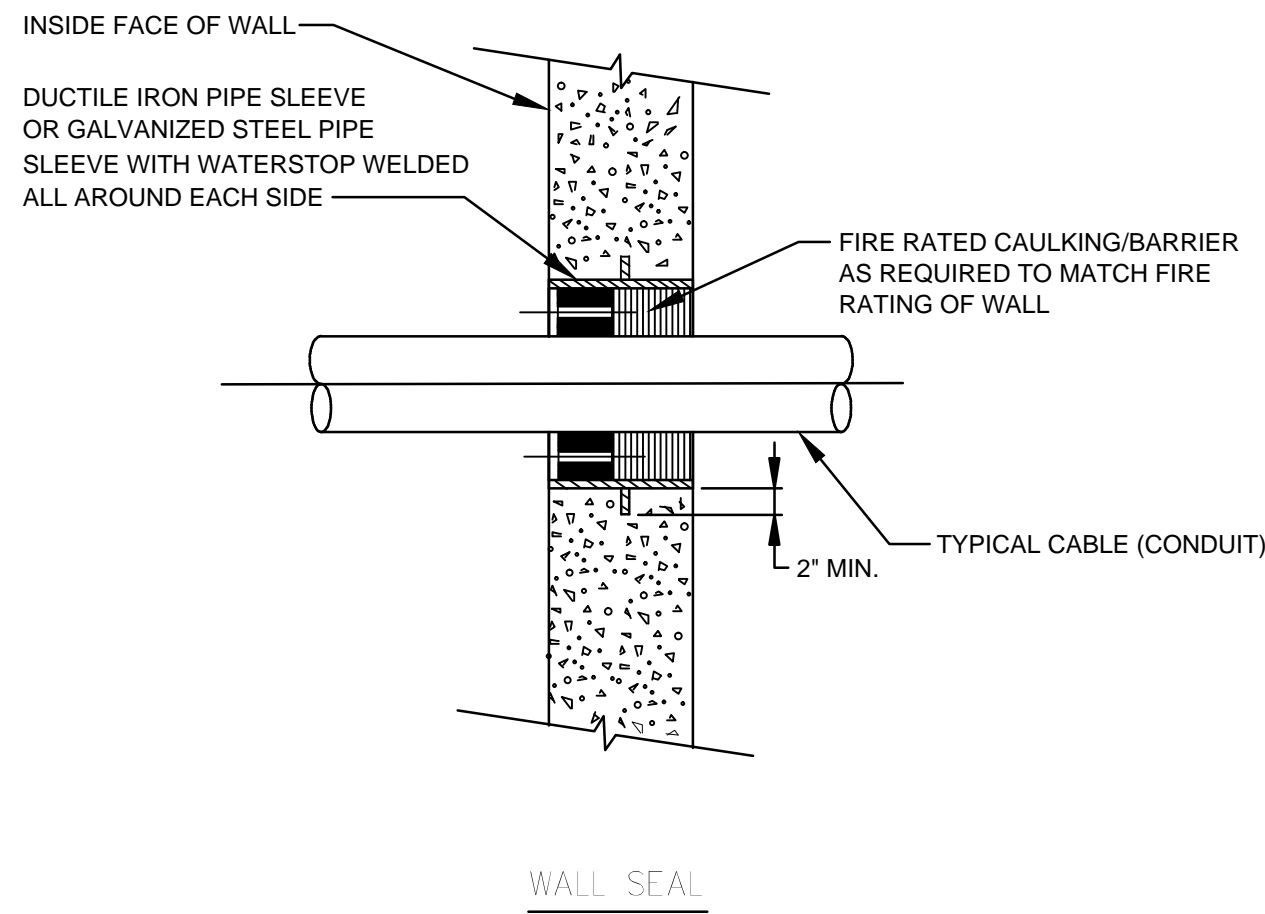
DRAWN BY
DP/GP

CHECKED BY
GSP

E5.1

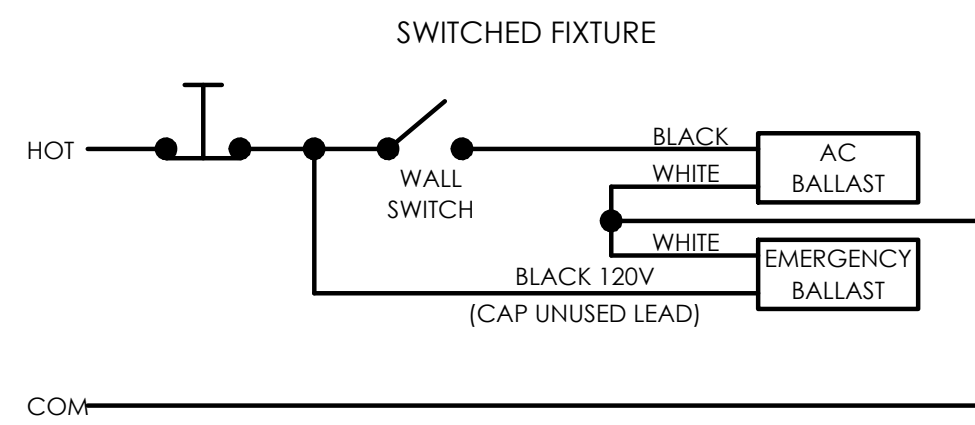
NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

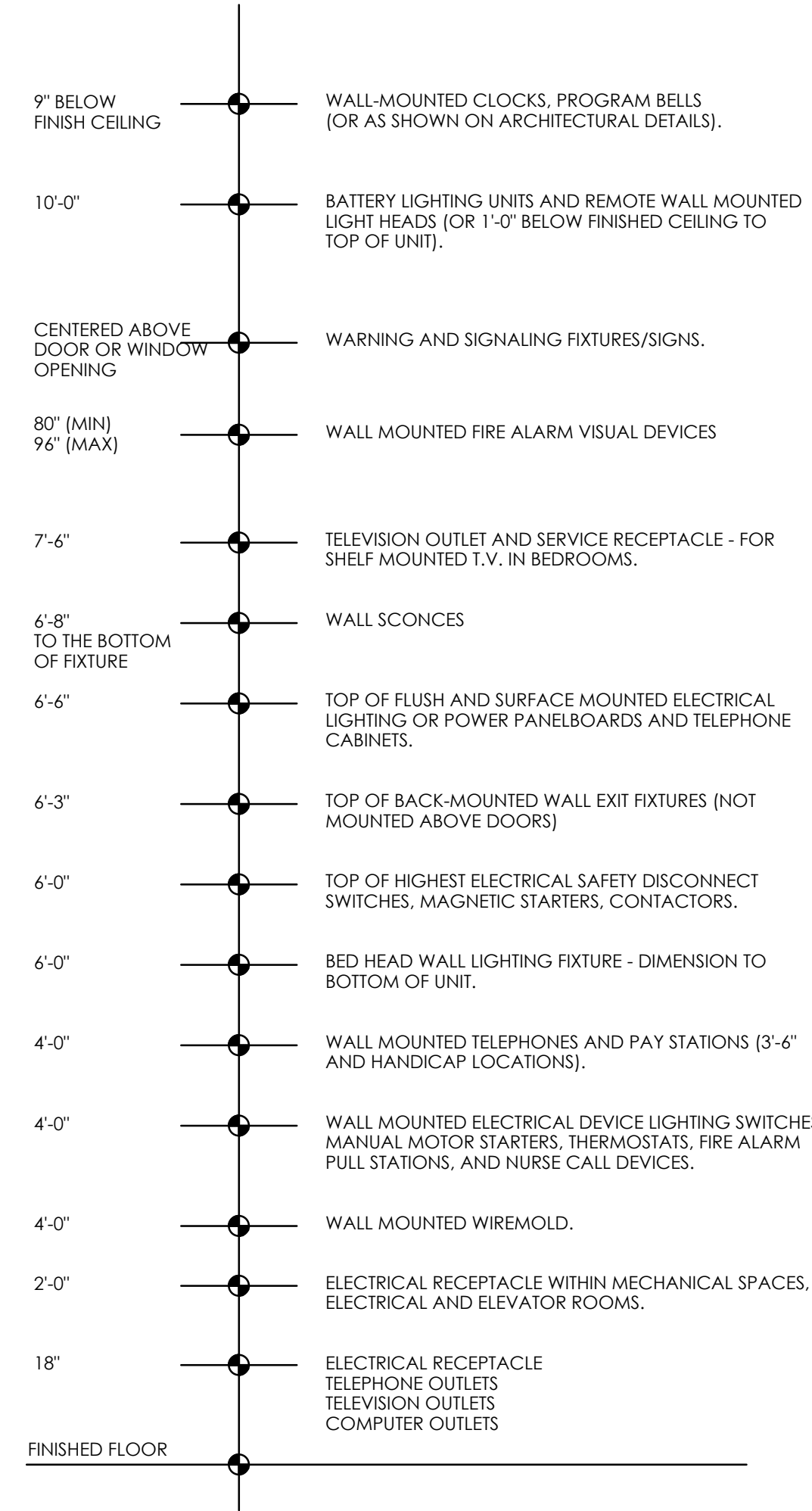


1 TYPICAL DETAIL FOR CABLE OR CONDUIT PASSING THROUGH FLOOR SLABS OR WALL

SCALE: NONE



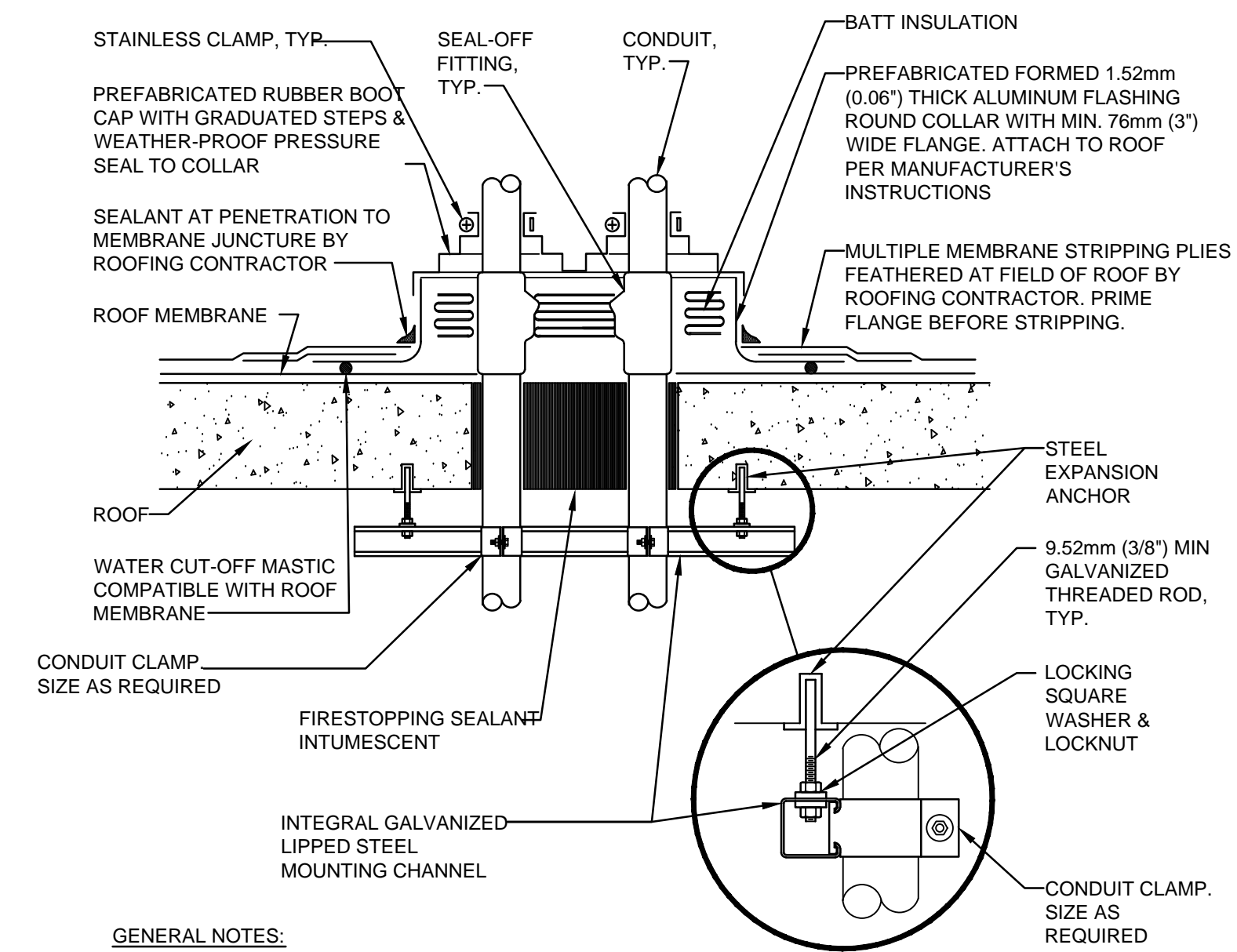
4 EMERGENCY BALLAST DETAIL NOT TO SCALE:



2 TYPICAL STANDARD MOUNTING HEIGHTS DETAIL NOT TO SCALE:

NOTES:

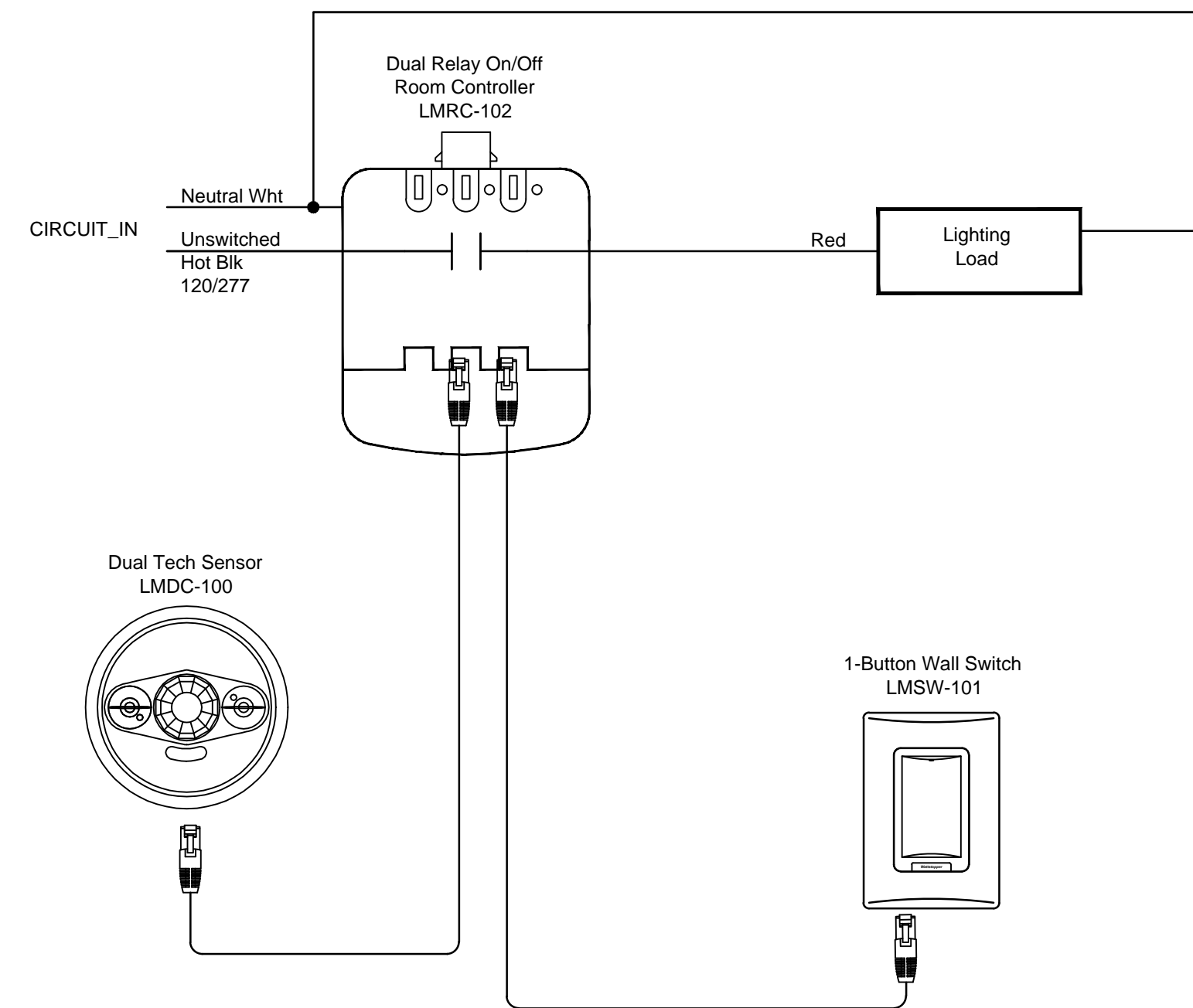
1. MOUNTING HEIGHTS TO CENTER OUTLETS UNLESS OTHERWISE NOTED. IN MASONRY WALL CONSTRUCTION THE ABOVE MOUNTING HEIGHTS SHALL BE USED FOR REFERENCE TO NEAREST BLOCK OR BRICK COURSING.
2. THE ABOVE MOUNTING HEIGHTS SHALL BE ADHERED TO UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE ON THE DRAWINGS OR SPECIFICATIONS.



GENERAL NOTES:

1. MAINTAIN A MINIMUM CLEARANCE OF 305mm (12") ON ALL SIDES OF ROOF PENETRATION FROM WALLS, CURBS, AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING.
2. FLANGES OF ADJACENT FLASHINGS SHALL NOT BE CUT OR OVERLAPPED.
3. VERIFY ROOF & STRUCTURAL SYSTEM WITH ARCHITECT.
4. COORDINATE FLASHING INSTALLATION WITH ROOFING CONTRACTOR TO ENSURE PROPER METHODS & MATERIALS ARE USED TO MAINTAIN ROOF WARRANTY.

3 CONDUIT ROOF PENETRATION DETAIL NOT TO SCALE



5 OCCUPANCY SENSOR CONTROL DETAIL NOT TO SCALE

SEQUENCE OF OPERATION

1. LIGHTING AUTO ON TO 50% WHEN OCCUPANCY DETECTED.
2. MANUAL ON/OFF AND 50% REDUCTION CONTROL OF GENERAL LIGHTING WITH SWITCH.
3. AUTO OFF ALL LIGHTING WITHIN 20 MINUTES OF OCCUPANTS LEAVING.
4. BASIS OF DESIGN - WATT STOPPER DLM SYSTEM.

REVISIONS

| ISSUE | DATE | REVISIONS |
|-------|----------|------------------------|
| | 03/18/19 | ISSUED FOR REVIEW |
| | 04/22/19 | ISSUED FOR DPP REVIEW |
| | 06/07/19 | ISSUED FOR CITY REVIEW |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



PROJECT COORDINATOR

MARC ORGOVAN

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Small Primate Holding Mechanical Upgrades

DRAWING TITLE
ELECTRICAL DETAILS AND DIAGRAMS

PROJECT NO.
71-19-4365-01

DATE
06/07/19

SCALE
AS NOTED

DRAWN BY
DP/GP

CHECKED BY
GSP

E6.1

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.