



CITY OF PHILADELPHIA

DEPARTMENT OF PARKS AND RECREATION

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - MICHAEL DIBERARDINIS

COMMISSIONER - PUBLIC PROPERTY - BRIDGET COLLINS-GREENWALD

COMMISSIONER OF PARKS AND RECREATION - KATHRYN OTT LOVELL

RENOVATIONS TO:

HAWTHORNE PLAYGROUND

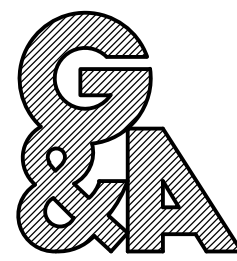
1200 CARPENTER STREET, PHILADELPHIA, PA

PROJECT NO. 16-18-4746-01

LANDSCAPE ARCHITECT & CIVIL ENGINEER:

GILMORE & ASSOCIATES, INC.

DESIGN, LANDSCAPE ARCHITECTURE,
ENGINEERING & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1917 JFK BOULEVARD, SUITE 425, PHILADELPHIA, PA 19103
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65 WEST BUTLER AVENUE, SUITE 100, NEW BRITAIN, PA 18901
PHONE: (215) 345-4330



ABBREVIATIONS

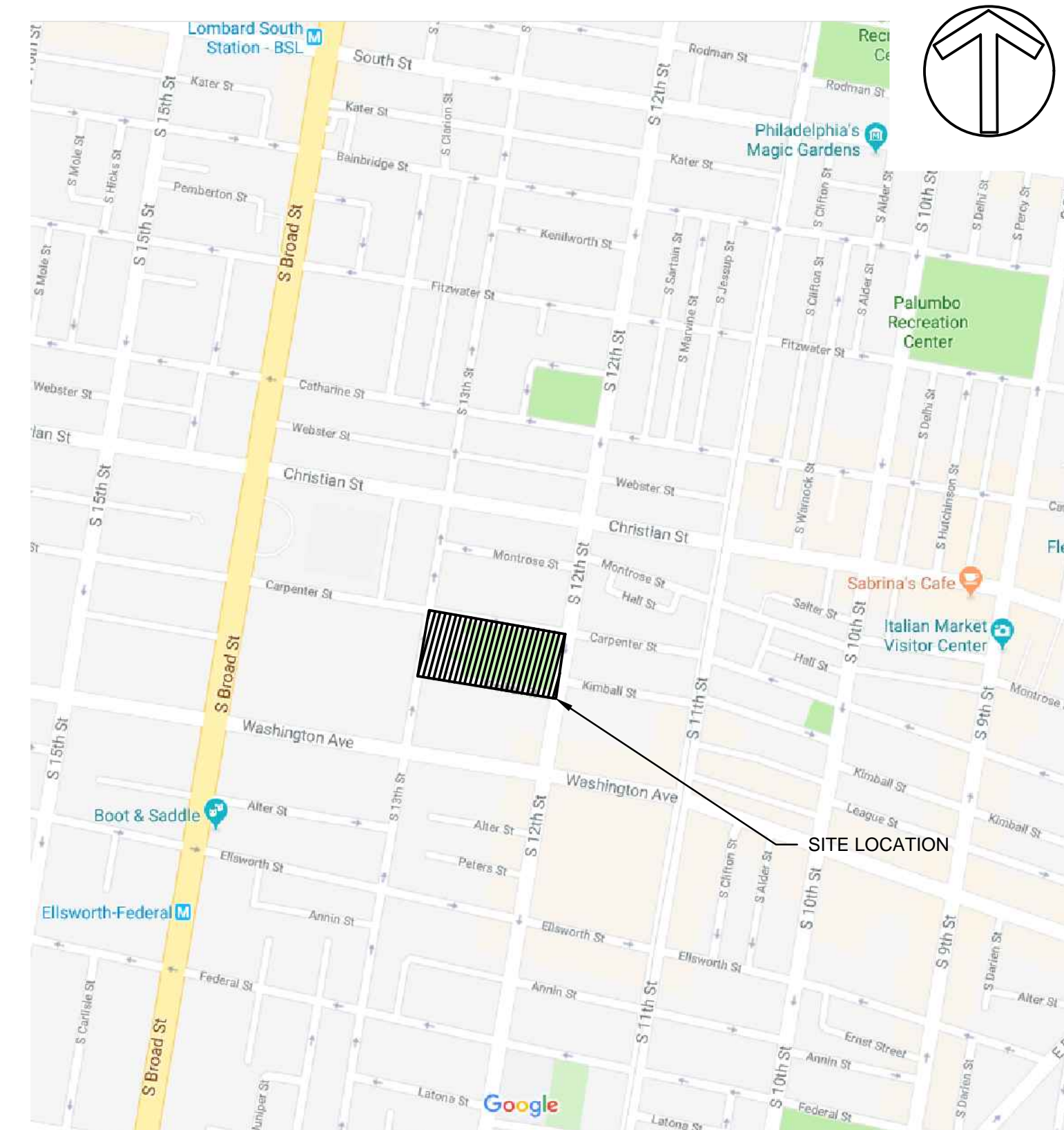
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|-------|--------------------------|-------|---------------------------|-----|--------------------|
| TBR | TO BE REMOVED | FBO | FURNISHED BY OTHERS | SQ | SQUARE |
| PT | POINT OF TANGENCY | FIXT | FIXTURE | STA | STATION |
| PC | POINT OF CURVE | FR | FROM RECORD | STL | STEEL |
| DI | DUCTILE IRON | FT | FOOT OR FEET | TC | TOP OF CURB |
| CI | CAST IRON | FTG | FOOTING | BC | BOTTOM OF CURB |
| RCP | REINFORCED CONCRETE PIPE | GA | GAUGE | TW | TOP OF WALL |
| PVC | POLYVINYL CHLORIDE | GALV | GALVANIZED | BW | BOTTOM OF WALL |
| INV. | INVERT ELEVATION | GR | GRADE | TEL | TELEPHONE |
| T.G. | TOP OF GRATE ELEVATION | HT | HEIGHT | W | WATER |
| C.O. | CLEAN OUT | CAL | CALIPER | SAN | SANITARY |
| FFE | FINISH FLOOR ELEVATION | GAL | GALLON | SD | STORM DRAIN |
| JNT | JOINT | QT | QUART | T | TREAD |
| EXP | EXPANSION | HDPE | HIGH DENSITY POLYETHYLENE | TS | TOP OF STEP |
| CJ | CONTROL JOINT | PE | POLYETHYLENE | BS | BOTTOM OF STEP |
| EJ | EXPANSION JOINT | HORIZ | HORIZONTAL | TYP | TYPICAL |
| CONST | CONSTRUCTION | VERT | VERTICAL | WWF | WELDED WIRE FABRIC |
| CIP | CAST-IN-PLACE | R | RADIUS OR RISER | SPD | SPREAD |
| CL | CENTERLINE | RAD | RADIUS | | |
| CONC | CONCRETE | KJ | KEYED JOINT | | |
| COND | CONDUIT | LP | LOW POINT | | |
| CTR | CENTER | MET | METAL | | |
| PNT | POINT | SS | STAINLESS STEEL | | |
| CU YD | CUBIC YARD | MFR | MANUFACTURER | | |
| DEP | DEPRESSED | MIN | MINIMUM | | |
| DN | DOWN | MISC | MISCELLANEOUS | | |
| DIA | DIAMETER | NIC | NOT IN CONTRACT | | |
| DWL | DOWEL | NCL | CONTRACT LIMIT LINE | | |
| EA | EACH | LOD | LIMIT OF DISTURBANCE | | |
| EL | ELEVATION | LOW | LIMIT OF WORK | | |
| ELEC | ELECTRIC | NO./# | NUMBER | | |
| EQ | EQUAL | NTS | NOT TO SCALE | | |
| EF | EACH FACE | OC | ON CENTER | | |
| EW | EACH WAY | PERF | PERFORATED | | |
| EX | EXISTING | POB | POINT OF BEGINNING | | |
| UD | UNDERDRAIN | SCH | SCHEDULE | | |
| FG | FINISH GRADE | SCHED | SCHEDULE | | |
| | | SF | SQUARE FOOT | | |

SYMBOLS

| | |
|--|--|
| | EXISTING 1 FT CONTOURS |
| | EXISTING SPOT ELEVATION |
| | EXISTING UTILITY POLE |
| | EXISTING STORM SEWER/INLET |
| | EXISTING SIGN |
| | EXISTING LIGHT POLES |
| | EXISTING WATER MAIN |
| | EXISTING DRAINAGE PIPE |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM SEWER |
| | EXISTING GAS LINE |
| | EXISTING FENCE LINE |
| | PROPOSED 1 FT CONTOUR |
| | DRAINAGE FLOW ARROW & SLOPE |
| | PROPOSED SPOT ELEVATION |
| | PROPOSED TOP/BOTTOM OF CURB SPOT ELEVATION |
| | PROPOSED TOP OF GRATE ELEVATION |

| SHEET LIST | |
|------------|---|
| CS-1 | COVER SHEET |
| G-1.0 | GENERAL NOTES & ESTIMATED QUANTITIES |
| C-1.0 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C-2.0 | REPAIR PLAN |
| C-3.0 | MATERIALS AND LAYOUT PLAN |
| C-4.0 | CONSTRUCTION DETAILS |

LOCATION PLAN

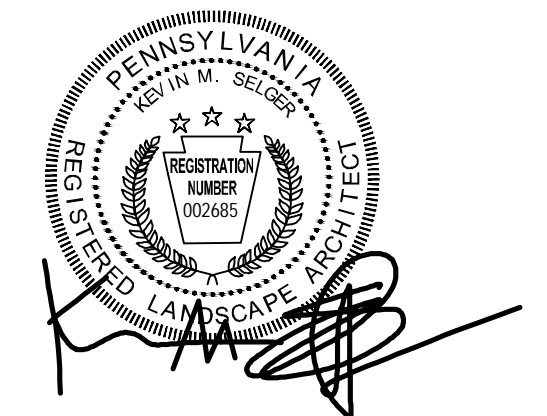


NOT TO SCALE

PROJECT APPROVED

COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY
DEPUTY COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY
PROJECT DIRECTOR/PPR-CAPITAL PROJECTS DIVISION

SEALS



CITY OF PHILADELPHIA
DEPARTMENT OF PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PPR PROJECT NO. 16-18-4746-01
CONSULTANT PROJECT NO. 2014-02041-34
DATE 02/07/2019
SCALE AS SHOWN
DRAWN BY MDS
CHECKED BY KMS

CS-1

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL PLANS, SPECIFICATIONS, AND WORK ASSOCIATED WITH THIS PROJECT.
- EXISTING FEATURES BACKGROUND AND EXISTING CONDITIONS INFORMATION IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY. ALL LOCATIONS ARE TO BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD. NO DIGGING OR EXCAVATIONS WERE DONE IN THE PREPARATION OF THE EXISTING FEATURES BACKGROUND OR EXISTING CONDITIONS INFORMATION, THEREFORE, ALL UNDERGROUND UTILITIES SHOWN OR DEPICED SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES AND OR FACILITIES NOT SHOWN HEREON. ALL THE DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 187, HOUSE BILL 2627, AMENDING THE ACT OF DECEMBER 17, 1974 (P.L.852, NO. 287) PN 1460 1996 EFFECTIVE 12/19/96.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/FACILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM RECORDS. NO EXCAVATIONS WERE PERFORMED IN THE PREPARATION OF THESE DRAWINGS, THEREFORE ALL UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH, AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES/FACILITIES TO BE PRESENT WHICH ARE NOT SHOWN ON THE DRAWINGS. ONLY THE VISIBLE LOCATIONS OF UNDERGROUND UTILITIES/FACILITIES AT THE TIME OF FIELD SURVEY SHALL BE CONSIDERED TRUE AND ACCURATE. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY GILMORE & ASSOCIATES INC.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON MARCH 29, 2007, PENNSYLVANIA ACT 181. .
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST 3-WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ALL MEASUREMENTS SHALL BE TAKEN FROM DIMENSIONS SHOWN ON THE DRAWING. WHERE DIMENSIONS BETWEEN SMALL SCALE AND DETAIL DRAWINGS DIFFER, NOTIFY THE DESIGN PROFESSIONAL FOR CLARIFICATION. FIELD VERIFY ALL DIMENSIONS AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES.
- INSTALL ALL MANUFACTURED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS COMPLETE WITH ALL ITEMS AND COMPONENTS AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CONTRACT DOCUMENTS (PLANS, SPECIFICATIONS, AND OTHER INFORMATION) TO THE VARIOUS SUBCONTRACTORS AND TRADES IN ORDER FOR THEM TO COORDINATE AND PERFORM THE WORK.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANY REGULATIONS AND REQUIREMENTS FOR UTILITIES AFFECTED BY THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS ASSOCIATED WITH THOSE UTILITIES.
- THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS RELATING TO THIS PROJECT PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY ALL CONTRACTORS TO MEET ALL OF THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL AUTHORITIES, HEALTH DEPARTMENT, AND UTILITY COMPANIES IN ADDITION TO THE INFORMATION STATED IN THESE PLANS, THE SPECIFICATIONS, AND THE CONTRACT DOCUMENTS.
- IN THE CASE OF CONFLICT BETWEEN ANY PART OF THESE PLANS, THE SPECIFICATIONS, OR THE CONTRACT DOCUMENTS, OR IF DISCREPANCIES ARE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE DPP COORDINATOR AND DESIGN PROFESSIONAL IMMEDIATELY BY PHONE AND IN WRITING AND SHALL REQUEST A WRITTEN DETERMINATION PRIOR TO PROCEEDING WITH THE WORK INVOLVED. IF THE WORK PROCEEDS WITH THE KNOWLEDGE OF A DISCREPANCY AND WITHOUT A WRITTEN DETERMINATION, SUCH WORK WILL NOT BE CONSIDERED IN COMPLIANCE WITH THESE PLANS, THE SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- ALL WORK WITHIN A RIGHT OF WAY (R.O.W.) OR EASEMENT SHALL BE DONE IN ACCORDANCE WITH THE AGENCY OR ENTITY HAVING JURISDICTION OR OWNERSHIP OF THAT R.O.W. OR EASEMENT. CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, INSPECTIONS, ETC. FROM THE AGENCY OF ENTITY HAVING JURISDICTION FOR THIS WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT EXISTING STRUCTURES AND FACILITIES, INCLUDING UTILITIES, NOT DESIGNATED FOR DEMOLITION OR REPLACEMENT/UPGRADE SUCH AS BUILDINGS, PIPES, INLETS/MANHOLES, CABLES/WIRES, CONDUITS, APRONS, PAVEMENTS, BRIDGES, UTILITIES, TREES, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE TAKEN IN UNDERCUT AREAS. THE CONTRACTOR(S) SHALL REPLACE OR REPAIR, AS DIRECTED BY THE DPP COORDINATOR/INSPECTOR OR DESIGN PROFESSIONAL, ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION/THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- THE CONTRACTOR(S) SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXPOSED EXCAVATIONS TO PROTECT FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW/ICE.
- THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS OR DIVISION DIKES, SUMPS AND SUMP PUMPS AND/OR OTHER DEWATERING MEASURES AS REQUIRED TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY EXCAVATION OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE REPREPARATION AND REAPPROVAL OF THE SUBGRADE.
- THE CONTRACTOR SHALL PROTECT POURED-IN-PLACE RUBBER SAFETY SURFACES DURING INSTALLATION AND AFTER THEY ARE INSTALLED. CONTRACTOR SHALL PREVENT SOIL OR OTHER DEBRIS FROM BEING DEPOSITED ON THESE SURFACES. IF THESE SURFACES ARE DAMAGED, HAVE HAD DEBRIS PLACED ON THEM, OR HAVE OTHER FOREIGN RESIDUES DEPOSITED ON THEM THE SURFACES SHALL BE CLEANED OR REPLACED TO THE SATISFACTION OF THE DEPARTMENT OF PUBLIC PROPERTY OR THE DESIGN PROFESSIONAL, AT THE GENERAL CONTRACTOR'S EXPENSE.
- ALL ORGANIC, WET, SOFT AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM PAVEMENT SUBGRADE AND BACKFILLED WITH SUITABLE GRANULAR, FREE DRAINING MATERIAL. NO PAVEMENTS OR SLABS SHALL BE PLACED ONTO SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER AN EXPOSED EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY AFTER REMOVAL OF WATER OR FROST.
- THE CONTRACTOR(S) SHALL MAINTAIN ALL EROSION CONTROLS DURING CONSTRUCTION.
- THE CONTRACTOR(S) SHALL ERECT PROTECTIVE DEVICES, SUCH AS TEMPORARY CHAIN-LINK FENCING, TO PROTECT THE SITE FROM UNAUTHORIZED PERSONS FROM ENTERING THE WORK SITE.
- THE CONTRACTOR(S) ARE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES TO REMAIN. NO EQUIPMENT, MATERIALS, SOIL, OR OTHER DEBRIS SHALL BE STORED UNDER THE DRIPNE OF THE TREE. IF TREES ARE DAMAGED, ITEMS ARE STORED, OR AREA UNDER THE DRIP IS DISTURBED, OTHER THAN DISTURBANCE CALLED FOR ON THE PLANS, IT IS THE CONTRACTORS RESPONSIBILITY CORRECT THE DAMAGE TO THE SATISFACTION OF THE DPP COORDINATOR OR THE DESIGN PROFESSIONAL.
- IF IT BECOMES NECESSARY TO CLOSE A PORTION OF THE ADJACENT STREET OR SIDEWALK DURING CONSTRUCTION, THE CONTRACTOR(S) SHALL NOTIFY THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS REQUIRED FOR THIS WORK OR CLOSURE.
- THE CONTRACTOR(S) SHALL KEEP ALL PUBLIC AREAS CLEAN OF DEBRIS ON A DAILY BASIS. THE CITY OF PHILADELPHIA MAINTAINS THE RIGHT TO CLEAN THE PROJECT SITE FOR CONTRACTOR NON-COMPLIANCE AT CONTRACTOR'S EXPENSE.
- ALL MATERIAL REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER ACCORDING TO APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.

DEMOLITION NOTES:

- THE CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER, OWNER'S REPRESENTATIVE AND DESIGN PROFESSIONAL OF ANY DISCREPANCIES. COMMENCEMENT WITH ANY WORK MEANS CONTRACTOR HAS ACCEPTED EXISTING AND FIELD CONDITIONS.
- IN ACCORDANCE WITH PENNSYLVANIA STATE LAW, NOTIFY ALL UTILITY COMPANIES (1-800-242-1776 PENNSYLVANIA ONE CALL SYSTEM) AT LEAST (3) THREE BUSINESS DAYS IN ADVANCE OF BEGINNING CONSTRUCTION.
- THE CONTRACTOR(S) SHALL OBTAIN ALL REQUIRED/PERTINENT PERMITS FOR THIS WORK AND COMPLY AND ADHERE TO ALL APPLICABLE REGULATIONS SET FORTH.
- PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND ORDINANCES AND WITH NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION.
- DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDING OR SITE AREAS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT EXISTING STRUCTURES AND FACILITIES, INCLUDING UTILITIES, NOT DESIGNATED FOR DEMOLITION OR REPLACEMENT/UPGRADE SUCH AS BUILDINGS, PIPES, INLETS/MANHOLES, CABLES/WIRES, CONDUITS, APRONS, PAVEMENTS, BRIDGES, UTILITIES, TREES, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE TAKEN IN UNDERCUT AREAS. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE DESIGNER, ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION/THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- PREVENT MOVEMENT, SETTLEMENT, OR DAMAGE TO ADJACENT WALKWAYS, PAVEMENT, STRUCTURES, OR OTHER SITE ELEMENTS TO REMAIN. ANY MOVEMENT, DAMAGE, OR SETTLEMENT THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PROTECT ALL EXISTING PLANT MATERIALS FROM DAMAGE UNLESS THEY ARE INDICATED TO BE REMOVED*. DO NOT PARK OR STORE CONSTRUCTION VEHICLES, EQUIPMENT, AND/OR MATERIALS UNDER THE CANOPY (WITHIN THE DRIP LINE) OF ANY TREE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED OR THE PLANT MATERIAL REPLACED WITH PLANTS OF THE SAME SIZE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. ANY REPLACEMENT PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PROVIDE, ERECT AND MAINTAIN BARRICADE AND LIGHTING AS REQUIRED BY APPLICABLE REGULATION TO PROTECT OCCUPANTS OF BUILDING/FACILITY AND WORKERS.
- DEMOLISH AND REMOVE WORK IN A MANNER WHICH ALLOWS FOR INTRODUCTION OF NEW ADJACENT WORK WITH-OUT DAMAGING EDGE CONDITIONS TO THE EXISTING WORK.
- DEMOLITION OF EXISTING UTILITIES INCLUDES THE REMOVAL OF PIPE, UTILITY STRUCTURES, DRAINS, MANHOLES, ENCASEMENT, FITTINGS, VALVES, ETC.
- DISPOSE OF ALL UNUSABLE MATERIAL AND DEBRIS RESULTING FROM THE WORK OFF OF THE SITE AND ENSURE THE WORK AREAS CLEAN AND READY FOR NEW WORK.
- MAINTAIN UTILITY SERVICES TO ACTIVE EXISTING BUILDINGS AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD. COORDINATE WITH THE OWNER AND UTILITY PROVIDERS FOR ALL SHUTDOWNS FOR UTILITY CONNECTION AND RELOCATION WORK.
- ALL UTILITIES NOT SCHEDULED/INDICATED FOR DEMOLITION WITHIN THE LIMIT OF DEMOLITION/WORK AREA SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.
- SEE EROSION AND SEDIMENTATION CONTROL PLANS, NOTES AND DETAILS FOR EROSION CONTROL MEASURES AND CONSTRUCTION SEQUENCE.
- ALL MATERIALS DEMOLISHED, UNLESS IDENTIFIED TO BE SAVED OR SALVAGED (CONCRETE, PAVING, ROOT MAT, FENCING AND ALL OTHER DEBRIS) SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER FEDERAL, STATE, AND LOCAL REGULATIONS. ALL COSTS OF HAULING, DISPOSAL, AND TIPPING FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF THE BASE BID.
- ALL MATERIALS IDENTIFIED TO BE SALVAGED SHALL BE REMOVED WITH CARE TO PREVENT AND MINIMIZE DAMAGE AND SHALL BE STORED ON-SITE FOR REUSE OR FOR RETRIEVAL BY OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL QUANTITIES OF DEMOLITION SHALL BE DETERMINED BY THE CONTRACTOR AND COVERED IN THE BASE BID. CONTRACTOR SHALL MAKE NECESSARY SITE INSPECTIONS PRIOR TO BID TO VERIFY ALL QUANTITIES AND CONDITIONS TO HIS/HER SATISFACTION.
- SAWCUT AND TRIM ALL EXISTING CONCRETE AND ASPHALT PAVEMENT EDGES PRIOR TO INSTALLING NEW PAVING. ENDS OF DAILY NEW ASPHALT PAVEMENT INSTALLATIONS SHALL BE SAWCUT AND TRIMMED NEATLY TO RECEIVE AND INTERSECT NEXT AREA OF NEW ASPHALT PAVEMENT.
- ALL EXCAVATED MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER. IN ACCORDANCE WITH PADEP CLEAN FILL REGULATION OR WASTE DISPOSAL REQUIREMENTS.

SITE LAYOUT NOTES:

- VERIFY ALL DIMENSIONS AND ACCEPT SITE CONDITIONS PRIOR TO COMMENCING WORK. COMMENCING WORK MEANS THE CONTRACTOR(S) HAVE ACCEPTED SITE CONDITIONS.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR LAYOUT AS DETAILED IN THESE CONSTRUCTION DOCUMENTS FOR THIS PROJECT.
- THE NEW PAVING SHALL PROVIDE A SMOOTH TRANSITION TO EXISTING PAVING WITHOUT ABRUPT CHANGE IN GRADE.
- MAINTAIN POSITIVE DRAINAGE AND ELIMINATE LOW SPOTS.

EARTHWORK NOTES:

- THE CONTRACTOR SHALL PROVIDE POSITIVE PROTECTION (MAT/SHEET COVERINGS) FOR ALL EXPOSED EXCAVATIONS TO PROTECT FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW/ICE.
- THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS OR DIVISION DIKES, SUMPS AND SUMP PUMPS AND/OR OTHER DEWATERING MEASURES AS REQUIRED TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY EXCAVATION OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE REPREPARATION AND REAPPROVAL OF THE SUBGRADE.
- GENERAL FILL UNDER PAVEMENT AND SLABS AS REQUIRED TO REPAIR AND/OR RAISE THE SITE GRADE SHALL BE PERFORMED WITH MATERIALS AND COMPACTION METHODS AS APPROVED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY. GENERAL FILL UNDER PAVEMENT AND SLABS SHALL BE PERFORMED UNDER FULL TIME OBSERVATION OF THE INDEPENDENT TESTING AND INSPECTION AGENCY. FILL SHALL BE PLACED IN LOOSE LIFTS 8" THICK AND BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY, PER ASTM D1557. EACH LIFT OF FILL IS SUBJECT TO APPROVAL. ANY FILL NOT APPROVED OR INSTALLED UNDER THE OBSERVATION OF THE INDEPENDENT TESTING AND INSPECTION AGENCY IS SUBJECT TO REMOVAL AT THE CONTRACTOR'S EXPENSE.
- THE SUBGRADE FOR PAVEMENT AND SIDEWALKS SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE OR INSPECTOR IMMEDIATELY PRIOR TO PLACING CONCRETE AND/OR PAVEMENT.
- ALL ORGANIC, WET, SOFT AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM PAVEMENT SUBGRADE AND BACKFILLED WITH SUITABLE GRANULAR, FREE DRAINING MATERIAL.
- NO PAVEMENTS OR SLABS SHALL BE PLACED ONTO SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER AN EXPOSED EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY AFTER REMOVAL OF WATER OR FROST.

ASPHALT PAVING NOTES:

- PAVING WORK IS LIMITED TO REPLACEMENT OF EXISTING ASPHALT PAVING WHERE REMOVAL OF EXISTING ASPHALT IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND UTILITIES.
- COMPLY WITH APPLICABLE SECTIONS AND PROVISIONS OF THE STANDARD SPECIFICATIONS OF PAVEMENT CONSTRUCTION PER PENNDOT PUBLICATION 408. BITUMINOUS MATERIALS SHALL BE APPLIED WHEN THE SURFACE IS DRY, FIRM AND CURED, AND OTHERWISE ACCEPTABLE.
- CONTINUITY: NEW PAVING SHALL BE OF LIKE COMPOSITION OF INGREDIENTS FOR UNIFORMITY AND THICKNESS AND SHALL MATCH THE FINISH OF EXISTING ASPHALT PAVING.
- PERFORM THE WORK WITHOUT STAINING OR INJURY TO OTHER PERMANENT WORK, INCLUDING CURBS AND SIDEWALKS.
- WHERE NEW PAVING MEETS EXISTING, CUT EXISTING PAVING AS REQUIRED WITH A POWER SAW TO CLEAN STRAIGHT LINES WITH VERTICAL EDGES. CUT THE EXISTING PAVEMENT TO ALLOW AN OVERLAP OF ONE FOOT OF NEW WEARING COURSE OVER THE EXISTING BINDER COURSE ALONG THE CONTINUOUS EDGES OF THE TRENCH.
- APPLY PRIMER OR TACK COAT TO ALL EXPOSED SURFACES OF EXISTING WEARING AND BINDER COURSES.
- SEAL PAVEMENT JOINTS AND ALONG PAVEMENT/CURB INTERFACE WITH PG64-22 HOT BITUMINOUS JOINT SEAL.
- INSTALL SUPPORT GEOTEXTILE FABRIC OVER JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE NEW PAVING SHALL PROVIDE A SMOOTH TRANSITION TO EXISTING PAVING WITHOUT ABRUPT CHANGE IN GRADE. MAINTAIN POSITIVE DRAINAGE AND ELIMINATE LOW SPOTS.

GRADING AND DRAINAGE NOTES:

- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- UNLESS OTHERWISE NOTED, MINIMUM SLOPE SHALL BE ¼ INCH PER FOOT OR 2% AND A MAXIMUM SLOPE SHALL NOT EXCEED 3:1 (H:V) OR 33% FOR NON-PAVED SURFACES.
- GRADES ON DESIGNATED HANDICAPPED ACCESSIBLE AREAS/ROUTES SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- GRADE EARTHEN, NON-PAVED, SURFACES TO A SMOOTH FINISH. SLOPE LAWN AREAS IN SWALES TO A GENTLE CROWN ALONG THE CENTERLINE UNLESS OTHERWISE SHOWN.
- GRADE ALL SEEDED FINE LAWN AREAS FLUSH WITH FINISH GRADE. ADJUST FINISHED GRADE TO THE PROPER DEPTH WHERE SOD ABUTS PAVED AREAS.
- GRADE ALL TREE/SHRUB/GROUNDCOVER PLANTING BEDS TO 3 INCHES BELOW TOP OF ABUTTING CURBS, PAVING, OR LAWN AREAS TO ALLOW FOR MULCHING.
- REFER TO PLANTING PLAN FOR ADDITIONAL NOTES.
- ADJUST EXISTING AND NEW MANHOLE, CATCH BASINS, AND DRAINS RIM/GRATE ELEVATIONS TO NEW GRADE ELEVATIONS (PAVEMENT OR SOIL).
- ELIMINATE ROUGH AND LOW AREAS TO ENSURE POSITIVE DRAINAGE.
- PIPE SLOPES ARE APPROXIMATE; CONTRATOR SHALL USE INVERTS TO INSTALL GRAVITY LINES.
- FINISHED SURFACES SHALL BE GRADED SMOOTH AND EVEN WITH NO ABRUPT OR A/WKWARD CHANGES IN GRADE. SURFACE FINISHES NOT MEETING THIS STANDARD OR NOT DEEMED ACCEPTABLE BY THE DESIGNER OR OWNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF SLOPE REQUIREMENTS CANNOT BE MET. AT NO TIME WILL SLOPES IN EXCESS OF THOSE ABOVE THE MAXIMUM ALLOWED WILL BE ACCEPTED, UNLESS PRIOR APPROVAL IS RECEIVED IN WRITING BY THE DESIGNER.
- PLANS INDICATE ALL FINISH GRADE ELEVATIONS. PROVIDE SUBGRADE ELEVATIONS AS REQUIRED BY PLANS, DETAILS, OR SPECIFICATIONS. PROVIDE PROPERLY COMPACTED SUBGRADES OF NATIVE SOIL OR APPROVED FILL. SUBGRADES SHALL BE INSPECTED BY A QUALIFIED INSPECTOR TO ENSURE COMPACTION REQUIREMENTS ARE MET. NATIVE SOILS, FILL, OR SUBGRADES DEEMED INSUFFICIENT SHALL BE REMOVED AND REPLACED WITH APPROPRIATE MATERIAL.
- COORDINATE GRADING WORK WITH WORK OF OTHER TRADES OR WORK BY OTHERS AS REQUIRED TO COMPLETE THE PROJECT.

CONCRETE NOTES:

- PROVIDE CAST-IN-PLACE CONCRETE WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, UNLESS SPECIFIED AS LIGHT WEIGHT CONCRETE OR FLOWABLE FILL, AND IN ACCORDANCE WITH THE CURRENT VERSION OF ACI-318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- CONCRETE SHALL CONTAIN EITHER A WATER-REDUCING, PLASTICIZING ADMIXTURE OR A HIGH-RANGE WATER-REDUCING ADMIXTURE. ALL CONCRETE SHALL CONTAIN AN AIR-ENTRAINING ADMIXTURE TO PROVIDE 5% TO 7% AIR ENTRAINMENT. MAXIMUM CHLORIDE CONTENT SHALL BE 0.15%. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45. MAXIMUM DESIGN SLUMP OF 3 INCHES WITHOUT SUPERPLASTICIZERS. AGGREGATE SIZE SHALL BE ¾ OF AN INCH WITH A DESIGNATION OF 4S PER ASTM C33.
- WELDED WIRE FABRIC SHALL BE GALVANIZED AND COMPLY WITH ASTM A185.
- REINFORCING STEEL BARS SHALL BE GRADE 60 PER ASTM A615.
- SUBMIT MIX DESIGN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. THE OWNER'S REPRESENTATIVE MAY REJECT DESIGN MIX FOR NON-COMPLIANCE. RE-SUBMIT DESIGN MIX UNTIL DESIGN PROFESSIONAL APPROVES.
- MOIST CURE ALL CONCRETE WORK AND COMMENCE MOIST CURING AS SOON AS FINISHES WILL NOT BE MARRED. INSULATING BLANKETS, REINFORCED WATERPROOFED KRAFT PAPER, OR POLYETHYLENE FILM AS PER ASTM C-171 SHALL BE USED TO KEEP THE CONCRETE CONTINUOUSLY MOIST DURING THE CURING PROCESS.
- CONCRETE WALKING SURFACES SHALL HAVE A NON-SLIP FINISH. JOINTS SHALL BE TOOLED FIRST AND THEN CONCRETE SURFACE SWEEP FOR NON-SLIP FINISH TO ELIMINATE "WINDOW PANE" LOOK. "WINDOW PANE" CONCRETE FINISH WILL NOT BE ACCEPTED.
- CONCRETE SHALL BE PLACED ON A MINIMUM OF 4 INCHES OF COMPACTED CRUSHED AGGREGATE (No. 57 OR ¾ INCH CLEAN) PLACED ON COMPACTED SUBGRADE. SUBGRADE SHALL BE NON-YIELDING.

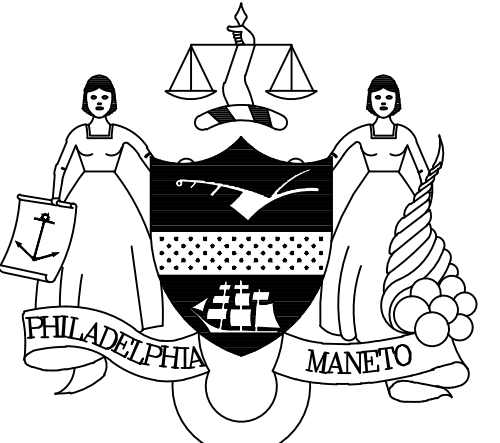
QUANTITIES TABLE:

| Description | Quantity | Unit |
|--|----------|------|
| Disposal | | |
| Tank Removal (2 tanks - disposal) | 1 | LS |
| Regulated Waste | 50 | CY |
| Construction Debris | 200 | CY |
| Asphalt Millings | 60 | CY |
| General site work and demolition | | |
| Mobilization | 1 | LS |
| E&S | 1 | LS |
| Asphalt Milling/Demo | 530 | SY |
| Concrete/Debris (Foundation Removal) | 150 | LF |
| Bench Removal | 2 | EA |
| Maintenance & Protection Traffic | 1 | LS |
| Paving and materials: | | |
| Granular Aggregate Fill (2A) | 350 | CY |
| Asphalt Paving (includes tack coat) | 530 | SY |
| Geotextile, Class, Stabilization | 530 | SY |
| Concrete Curb/Wall at edge of playground | 30 | LF |
| Plain Cement Concrete Fill | 70 | CY |
| Misc. sitework: | | |
| Benches (PPR standard) | 2 | LS |
| Paint/Restriping at Bball court | 1 | LS |
| Replacement Fence | 70 | LF |
| Basketball pole and net | 2 | EA |
| Trash receptacles (PPR standard) | 2 | EA |
| Lighting | | |
| Temporary Utility Pole Support | 1 | LS |
| New Connection | 1 | LS |
| Wiring | 120 | LF |

NOTE: THE QUANTITIES INDICATED ON THIS SHEET ARE ESTIMATED AND HAVE BEEN PROVIDED FOR THE SOLE PURPOSE OF AIDING BID PREPARATION.

REVISIONS

| ISSUE | DATE | REVISIONS |
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PPR PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH. SEAL:



FRANCESCO CERRAI, RLA

PRIMARY CONSULTANT:
GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE
ARCHITECTURE & TECHNICAL CONSULTING
1617 JOHN F. KENNEDY BLVD., SUITE 425
PHILADELPHIA, PA 19103
PHONE: (215) 345-4330

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA
PPR PROJECT NUMBER 16-18-4746-01

PROJECT TITLE:
IMPROVEMENTS TO HAWTHORNE PLAYGROUND
1200 CARPENTER ST., PHILADELPHIA PA

DRAWING TITLE:
GENERAL NOTES

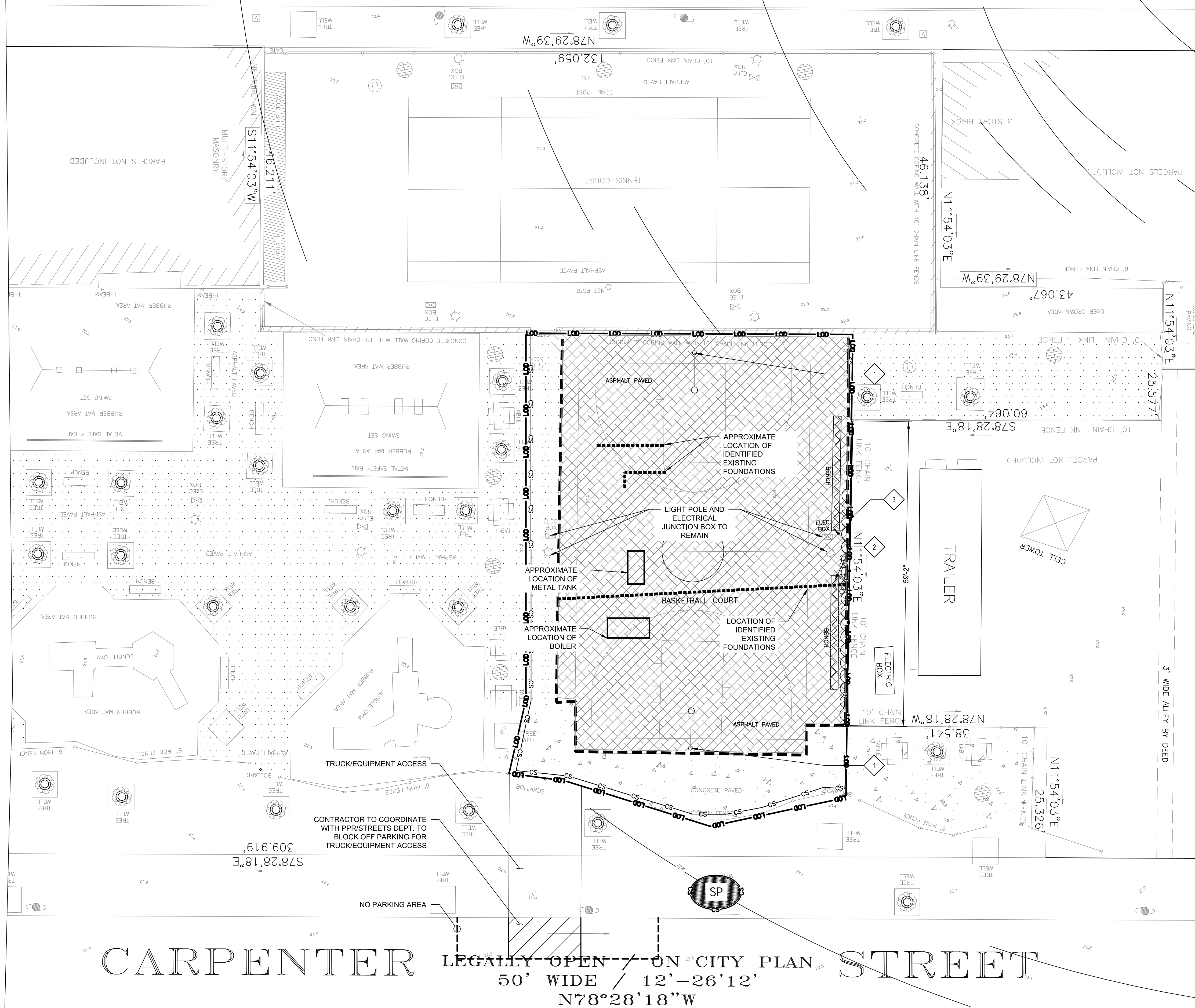
PPR PROJECT NO: 16-18-4746-01
CONSULTANT PROJECT NO: 20140204134
DATE: 02/07/2019
SCALE: AS SHOWN
DRAWN BY: MDS
CHECKED BY: KMS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

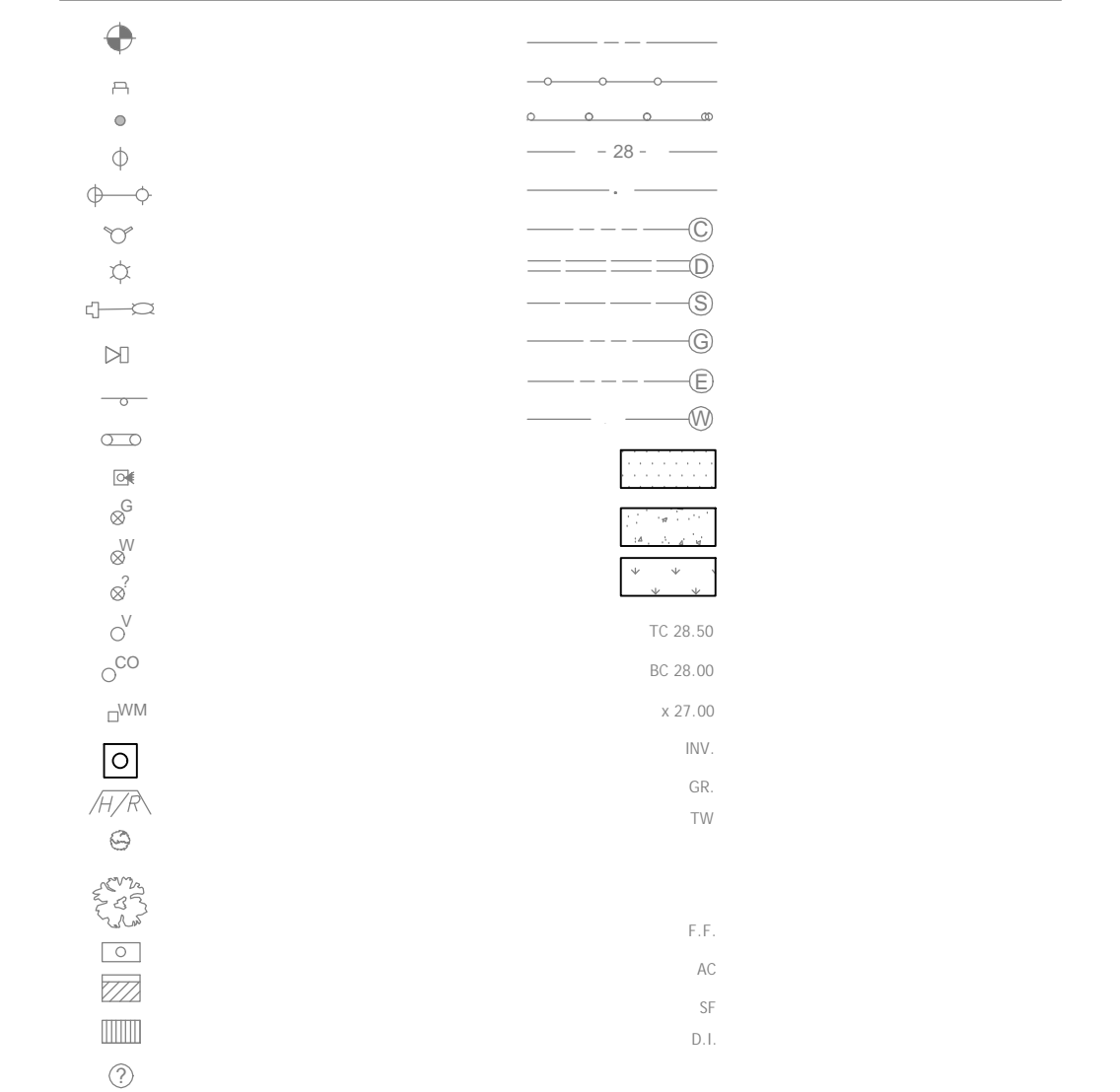
G-1.0

KIMBALL LEGALLY OPEN / ON CITY PLAN STREET

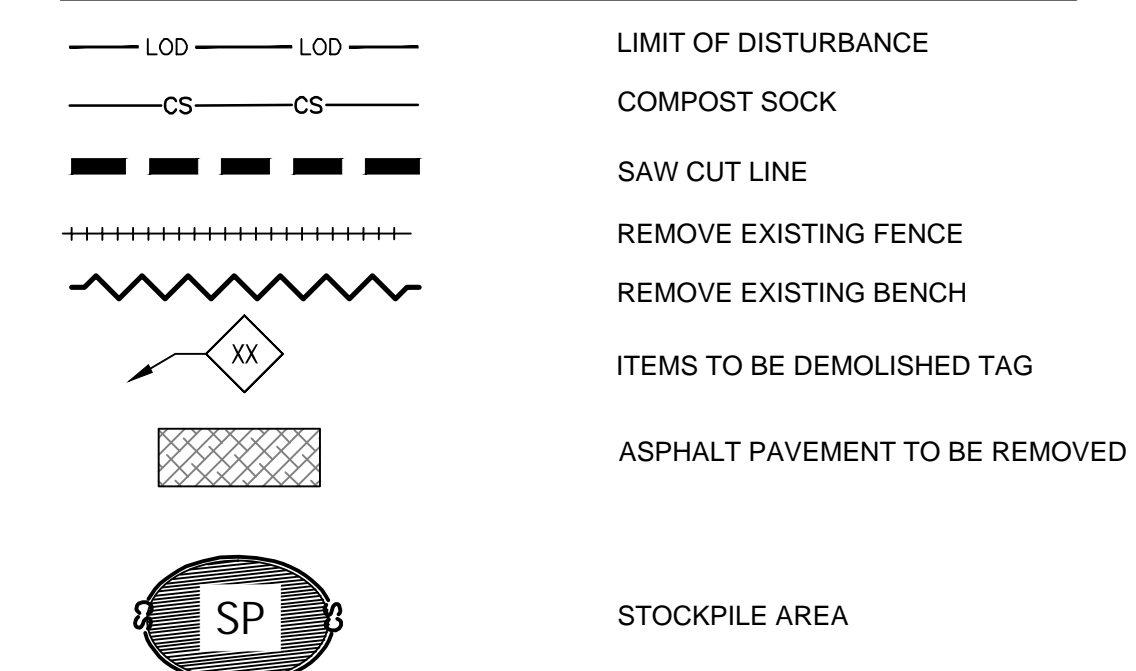
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N78°29'39"W



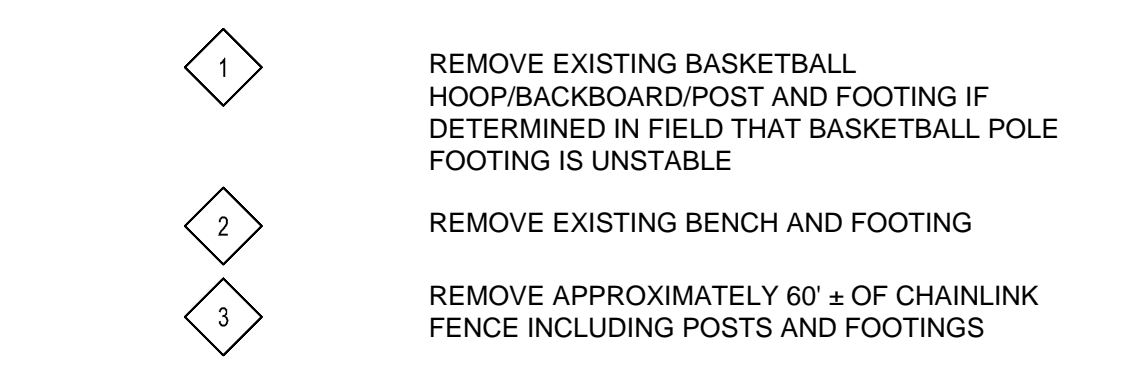
LEGEND



LEGEND



DEMOLITION PLAN KEY



REVISIONS

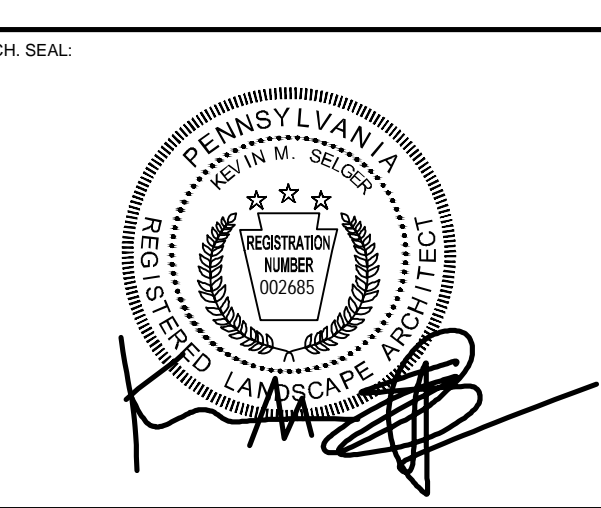
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PPR PROJECT COORDINATOR: FRANCESCO CERRAI, PLA



PRINCIPAL CONSULTANT:
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 PHONE: (215) 345-4330

CONSULTANT PROJECT NUMBER: 16-18-4746-01

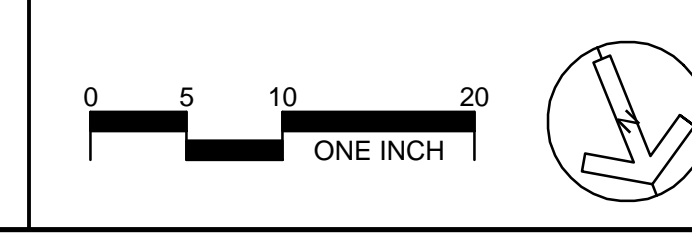
CITY OF PHILADELPHIA
 DEPARTMENT OF PARKS AND RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE:
IMPROVEMENTS TO HAWTHORNE PLAYGROUND
 1200 CARPENTER ST., PHILADELPHIA PA

DRAWING TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

| | |
|------------------------------------|-------------------|
| PPR PROJECT NO. 16-18-4746-01 | DRAWING NO. C-1.0 |
| CONSULTANT PROJECT NO. 20140204134 | |
| DATE: 02/07/2019 | |
| SCALE: AS SHOWN | |
| DRAWN BY: MDS | |
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COURT REPAIR/EXCAVATION NOTES AND PROCEDURES

BASED ON FINDINGS WE RECOMMEND THE FOLLOWING REPAIR PROCEDURES TO RESTORE THE BASKETBALL COURT SURFACE AND TO MINIMIZE THE NEED TO REMOVE AND DISPOSE OF REGULATED FILL MATERIALS (REFER TO THE ATTACHED REPAIR SKETCH FOR LOCATIONS).

1. **TANK REMOVAL/ABANDONMENT** - IT IS RECOMMENDED TO REMOVE AND DISPOSE OF THE IDENTIFIED BURIED TANK FEATURE AND BOILER FEATURE. REFER TO THE REPAIR SKETCH AND THE TP-3 TEST PIT LOG FOR APPROXIMATE TANK AND BOILER LOCATIONS AND OUR FIELD OBSERVATIONS. REMOVAL OF THE TANKS AND BOILER IS PREFERRED, BUT SHOULD THE SIZE OR CONFIGURATION OF THE TANKS, PARTICULARLY THE BOILER FEATURE, MAKE REMOVAL DIFFICULT, IN-PLACE ABANDONMENT CAN BE PERFORMED UNDER THE DIRECTION OF THE PROJECT ENGINEER/GEOLOGIST.
 - A. REMOVAL OF THE TANKS SHOULD BE PERFORMED BY A CERTIFIED TANK CONTRACTOR IN ACCORDANCE WITH APPLICABLE PADEP REGULATIONS.
 - B. PRIOR TO REMOVING THE TANKS FROM THE GROUND, AN ATTEMPT SHOULD BE MADE TO IDENTIFY IF THERE ARE ANY LIQUIDS PRESENT IN THE TANKS.
 - C. FILL MATERIAL DERIVED FROM THE EXCAVATIONS SHOULD BE FIELD SCREENED USING VISUAL AND OLFACTORY MEANS INCLUDING THE USE OF A CALIBRATED PHOTOIONIZATION DETECTOR (PID). IF IMPACTED SOIL IS ENCOUNTERED, THE SOIL SHOULD BE SEGREGATED FOR FUTURE DISPOSAL.
 - D. IF IMPACTED SOILS ARE ENCOUNTERED, DISPOSAL OF THE MATERIAL SHOULD BE PERFORMED IN ACCORDANCE WITH APPLICABLE GOVERNMENT REGULATIONS AND SENT TO A PERMITTED FACILITY.
 - E. EXCAVATION IS ONLY REQUIRED TO THE EXTENT NECESSARY TO REMOVE THE TANKS.
 - F. POST EXCAVATION SAMPLING IS RECOMMENDED FOLLOWED BY A LETTER REPORT TO THE PADEP.
 - G. TANKS LEFT IN PLACE SHALL BE ABANDONED BY COMPLETELY FILLING THEM WITH LEAN CONCRETE UNDER THE DIRECTION OF THE PROJECT CONSULTANT.
2. **SURFACE IMPROVEMENT AND COURT REPAIR** - STABILIZATION OF SOIL AND FILL MATERIALS BELOW THE BASKETBALL COURT, AND THE PLACEMENT OF A NEW COURT STONE AND PAVEMENT SECTION. THE COURT REPAIR ACTIVITIES SHOULD BE PERFORMED FOLLOWING COMPLETION OF THE TANK REMOVAL/ABANDONMENT EFFORT.
 - A. REMOVE AND DISPOSE OF EXISTING BENCHES ALONG WEST SIDE OF COURT. LIGHT POSTS AND BASKETBALL POSTS MAY REMAIN PROVIDED THEY ARE STABLE DURING COURT RESTORATION ACTIVITY.
 - B. STRIP AND DISPOSE OF EXISTING ASPHALT SURFACE (~3 INCHES) FROM ENTIRE BASKETBALL COURT AREA. ALTERNATIVELY, IF PRACTICAL, THIS MATERIAL CAN BE MILLED AND THE PAVEMENT MILLINGS REUSED ONSITE AS FILL.
 - C. STRIP AND STOCKPILE SUBBASE STONE (~6 INCHES) FOR REUSE ONSITE.
 - D. EXPOSE EXISTING FOUNDATION WALLS AS INDICATED ON THE REPAIR PLAN AND REMOVE CONCRETE OR RIGID FOUNDATION ELEMENTS TO A TOTAL OF 3.5 FEET BELOW THE PROPOSED COURT SURFACE ELEVATION.
 - E. COMPLETELY REMOVE EXPOSED DELETERIOUS DEBRIS AND FILL MATERIALS AND OVERSIZED RUBBLE (GREATER THAN 12 INCHES) AS DIRECTED BY THE ONSITE CONSULTANT REPRESENTATIVE. TARGETED EXCAVATION REMOVAL OF CONSTRUCTION DEBRIS MAY BE REQUIRED BY THE ONSITE TECHNICAL REPRESENTATIVE BASED ON OBSERVATIONS OF SURFACE SETTLEMENT AND THE CONDITIONS ENCOUNTERED DURING THE TANK AND ASPHALT SECTION REMOVAL EFFORTS.
 - F. IN THE SETTLEMENT AREA DIRECTLY ADJACENT TO THE EXISTING TOWER SITE (AUGMENTED REPAIR AREA LABELED ON THE PLAN), USE THE FOLLOWING PROCEDURE TO AUGMENT THE REPAIR ALONG THE PROPERTY LINE:
 - LOCALLY OVER-EXCAVATE SOILS ALONG EXISTING PROPERTY LINE TO APPROXIMATELY 8 FEET AS INDICATED ON THE ATTACHED REPAIR SKETCH. INERT OVERSIZED CONSTRUCTION DEBRIS FROM THE EXCAVATION SHOULD BE SEPARATED FOR DISPOSAL OFFSITE. FILLS SOILS SHOULD BE MOVED TO FILL IN THE BASE OF THE TANK EXCAVATION AREAS, OR DISPOSED OF AT A REGULATED FACILITY.
 - BENCH EXCAVATION ALONG THE EXISTING CONCRETE APRON AND FENCE LINE TO AVOID UNDERMINING THE PROPERTY LINE FEATURES.
 - PLACE LEAN CONCRETE (MINIMUM F'C = 1500 PSI) AT A 6- TO 8-INCH SLUMP TO BACKFILL THE EXCAVATION UP TO WITHIN 3 FEET OF THE PROPOSED COURT SURFACE.
 - ONCE THE LEAN CONCRETE HAS CURED, RESUME PAVEMENT SECTION RESTORATION IN CONJUNCTION WITH THE REMAINDER OF THE COURT AREA.
 - G. PLACE AND COMPACT STOCKPILED SUBBASE STONE AND/OR PAVEMENT MILLINGS WITHIN DEEPER EXCAVATION AREAS USING A TRACK-HOE MOUNTED PLATE COMPACTOR. COMPACT ALL DEEP FILL AREAS WITH THE TRACK MOUNTED PLATE COMPACTOR. IF IMPORTED FILL IS REQUIRED TO ACHIEVE SITE GRADES FOLLOWING TANK AND DEBRIS REMOVAL, PLACE PROCESSED AGGREGATE OR RECYCLED CONCRETE/BRICK MATERIALS MEETING THE CRITERIA IN THE IMPORTED FILL MATERIAL SECTION OF THE GEOTECHNICAL REPORT.
 - H. ESTABLISH A LEVEL AND EVEN SURFACE FOR GEOTEXTILE PLACEMENT AT THE SUBGRADE ELEVATION FOR THE COURT PAVEMENT SECTION. THE SUBGRADE SHALL BE LEVEL AND FREE OF OVERSIZED FRAGMENTS AND ANGLED PROJECTIONS PRIOR TO GEOTEXTILE PLACEMENT.
 - I. ONCE A LEVEL SURFACE IS ACHIEVED, COMPACT THE ENTIRE EXPOSED SUBGRADE SURFACE WITH A MINIMUM 10-TON VIBRATORY ROLLER. UNSTABLE AREAS DETECTED BY THIS PROCEDURE SHOULD BE COMPACTED IN PLACE, OR REMOVED AND REPLACED WITH COMPACTED GRANULAR FILL. DEPRESSIONS CREATED DURING COMPACTION ACTIVITY SHALL BE LEVELED WITH COMPACTED CRUSHED STONE SUCH AS PADOT COARSE AGGREGATE OR SIMILARLY GRADED RECYCLED CONCRETE.
 - J. PLACE A LAYER OF WOVEN STABILIZATION GEOTEXTILE FABRIC ACROSS THE ENTIRE PLAYING SURFACE AND RUN OUT AREAS AS INDICATED ON THE ATTACHED SKETCH. THE GEOTEXTILE SHALL CONSIST OF MIRAFI RS280I OR ENGINEER APPROVED EQUAL. THIS PRODUCT HAS BEEN SELECTED DUE TO ITS RELATIVELY HIGH TENSILE STRENGTH, PUNCTURE RESISTANCE, DURABILITY, AND DEMARCATION PROPERTIES. INSTALL GEOTEXTILE, OVERLAP AND ANCHOR THE PANELS OF FABRIC PER MANUFACTURER RECOMMENDATIONS.
 - K. PLACE COMPACTED AGGREGATE SUBBASE MATERIAL (PADOT 2A OR RECYCLED CRUSHED CONCRETE TO 2A GRADATION) OVER THE GEOTEXTILE UP TO THE DESIGNED PAVEMENT SUBBASE ELEVATION. A MINIMUM 6-INCH THICKNESS OF COMPACTED SUBBASE MATERIAL, COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY PER ASTM D698, IS RECOMMENDED FOR COVERING THE GEOTEXTILE FABRIC.
 - L. INSTALL THE NEW ASPHALT PAVEMENT SECTION IN ACCORDANCE WITH CITY STANDARDS. A MINIMUM 6 INCHES OF STONE BASE AND A 4-INCH BITUMINOUS ASPHALT SECTION ARE RECOMMENDED.

REVISIONS

| ISSUE | DATE | REVISIONS |
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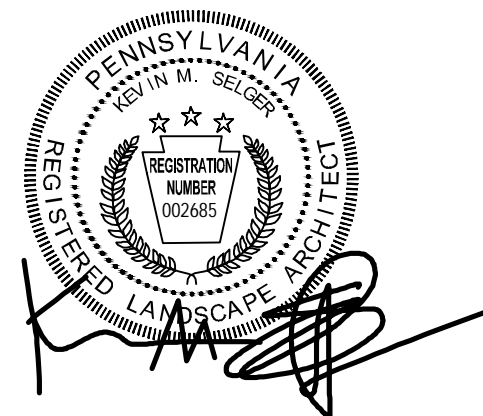


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LAND ARCH. SEAL:



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PPR PROJECT NUMBER: 16-18-4746-01

PROJECT TITLE:
IMPROVEMENTS TO HAWTHORNE PLAYGROUND
1200 CARPENTER ST., PHILADELPHIA PA

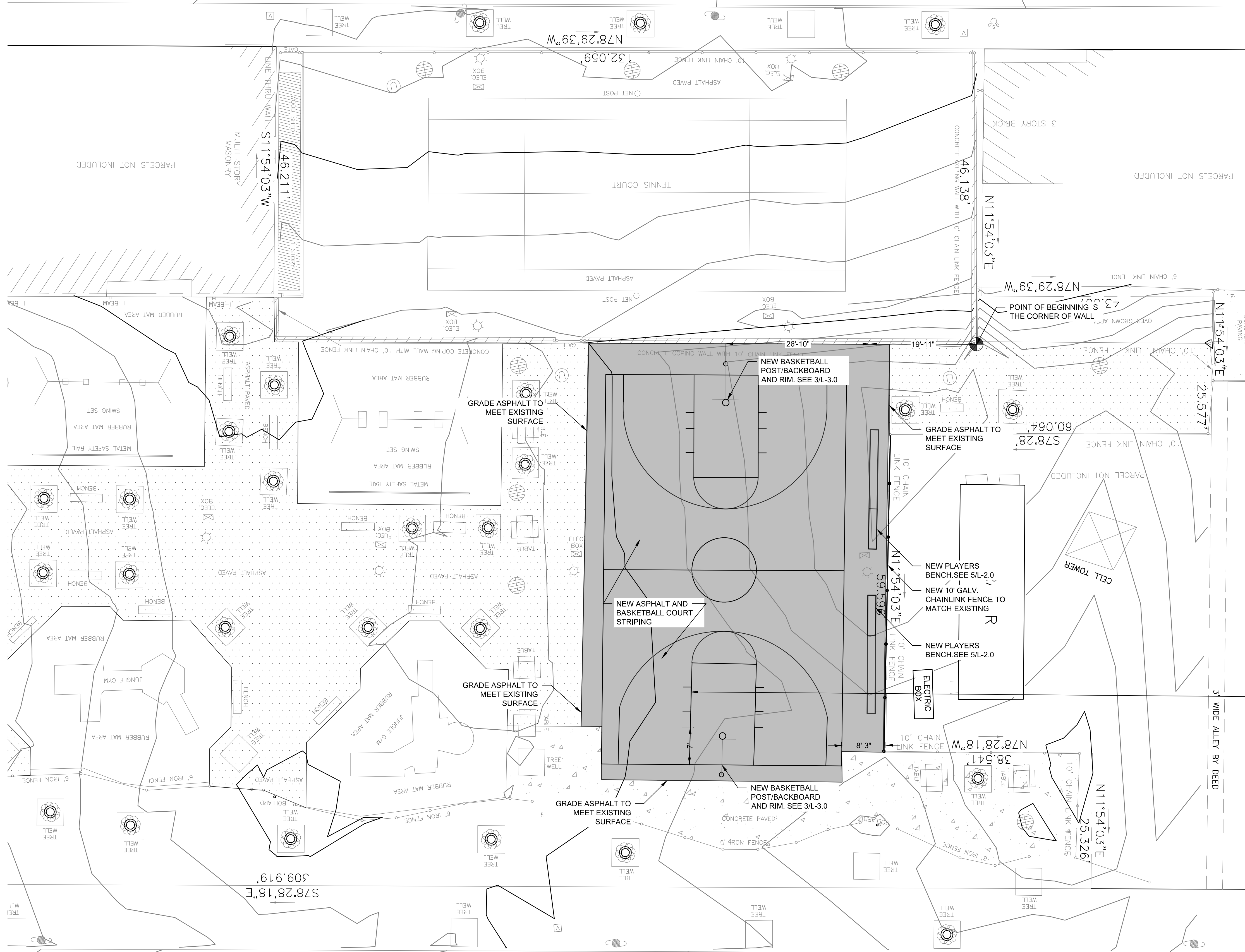
DRAWING TITLE:
REPAIR PLAN

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| PPR PROJECT NO: | 16-18-4746-01 | DRAWING NO: | C-2.0 |
| CONSULTANT PROJECT NO: | 20140204134 | | |
| DATE: | 02/07/2019 | | |
| SCALE: | AS SHOWN | | |
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KIMBALL LEGALLY OPEN / ON CITY PLAN STREET

29' WIDE / 3'-18'-8"
N78°29'39"W

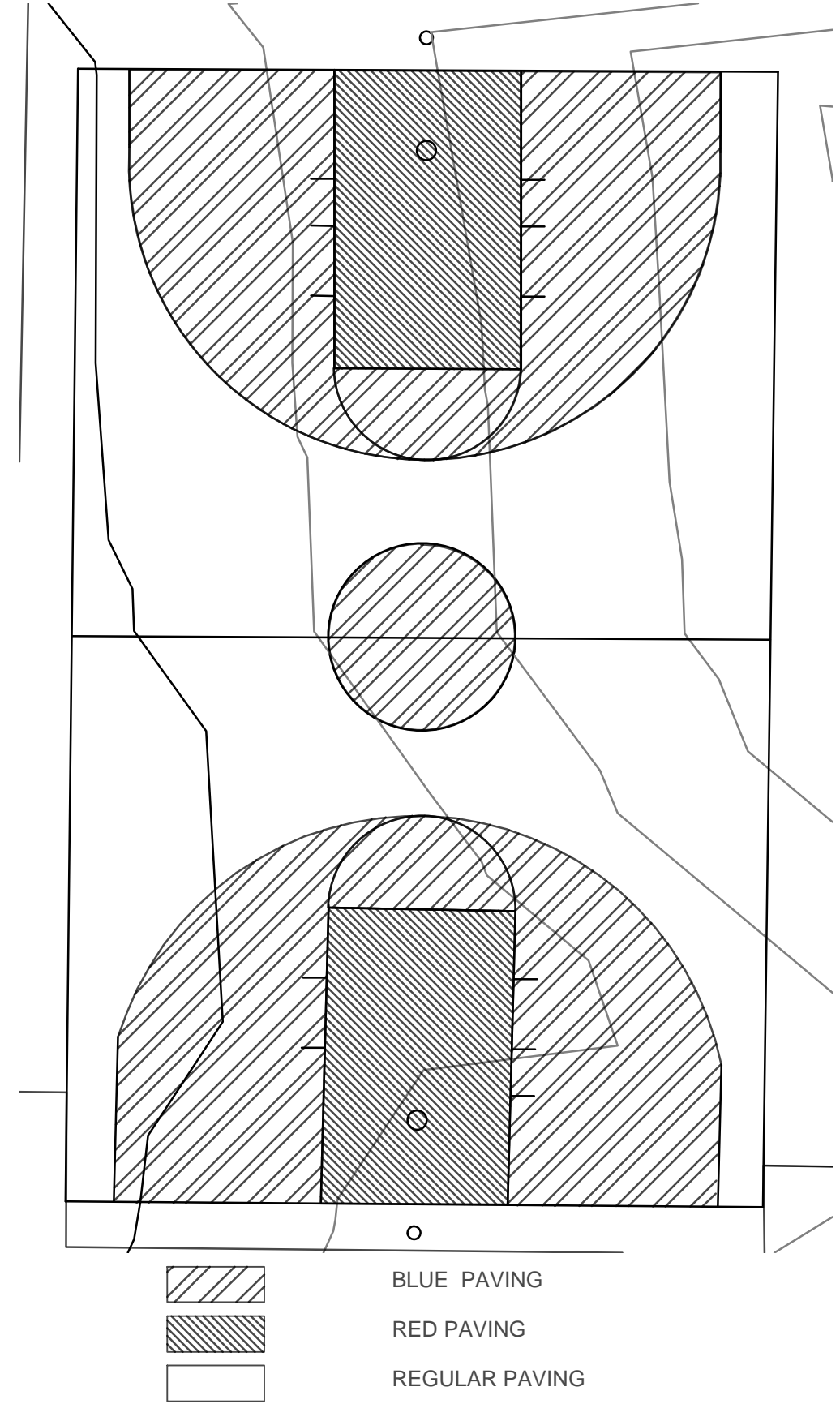


LEGEND

- BENCHMARK
- ELECTRIC METER
- BOLLARD
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- FIRE HYDRANT
- LAMP POST
- LIGHT POLE
- BUILDING MOUNTED LIGHT
- SIGN
- BIKE RACK
- TRAFFIC SIGNAL LIGHT
- GAS VALVE, GAS BOX
- WATER VALVE
- CURB BOX UNKNOWN ORIGIN
- SEWER VENT
- CLEANOUT
- WATER METER
- FLAGPOLE
- HANDICAP RAMP
- SHRUB
- TREE DECIDUOUS
- CITY INLET
- OPEN MOUTH GRATE INLET
- GRATE INLET / YARD DRAIN
- MANHOLE UNKNOWN
- PROPERTY LINE
- FENCE
- GUARD RAIL
- CONTOUR LINE
- OVERHEAD WIRES
- VERIZON LINE, MANHOLE
- STORM PIPING, MANHOLE
- SANITARY SEWER, MANHOLE
- GAS LINE, MANHOLE
- ELECTRIC LINE, MANHOLE
- WATER LINE, MANHOLE
- ASPHALT
- CONCRETE
- GRASS
- TC 28.50 TOP OF CURB ELEVATION
- BC 28.00 BOTTOM OF CURB ELEVATION
- +27.00 SPOT ELEVATION
- INV. INVERT
- GR. GRATE
- TW TOP OF WALL
- CL CENTER LINE
- PL PROPERTY LINE
- FF FINISH FLOOR
- AC ACRES
- SF SQUARE FEET
- DI DUCTILE IRON

LEGEND

- 11" LINEAR DIMENSION
- R2" RADIAL DIMENSION
- POINT OF BEGINNING
- NEW ASPHALT PAVING



2 BASKETBALL COLOR
C-3.0 TYPICAL 1"=10'-0"

REVISIONS

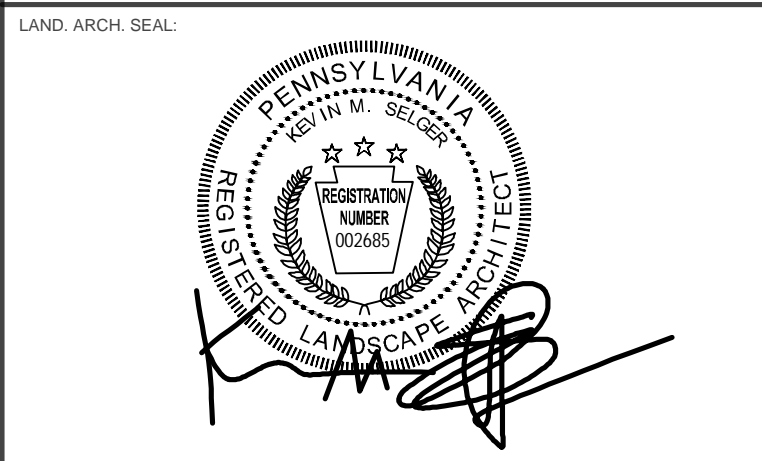
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PFR PROJECT COORDINATOR: FRANCESCO CERRAI, PLA



LAND ARCH. SEAL:
REGISTRATION NUMBER: 100355
LANDSCAPE ARCHITECT

PRIMARY CONSULTANT:
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DEPARTMENT OF PARKS AND RECREATION
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PHILADELPHIA, PENNSYLVANIA
11TH FLOOR, ONE PARKWAY BUILDING
PFR PROJECT NUMBER: 16-18-4746-01

PROJECT TITLE:
IMPROVEMENTS TO HAWTHORNE PLAYGROUND
1200 CARPENTER ST., PHILADELPHIA PA

DRAWING TITLE:
SITE LAYOUT AND MATERIAL PLAN

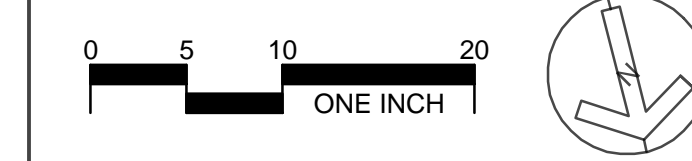
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| CONSULTANT PROJECT NO.: 20140204134 | |
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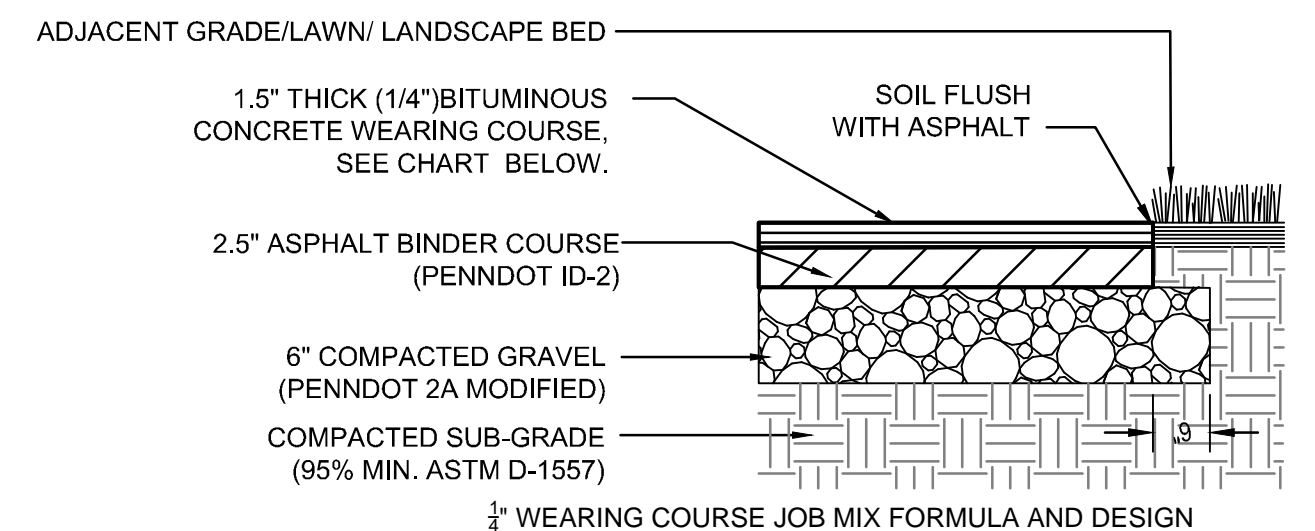
CARPENTER LEGALLY OPEN / ON CITY PLAN STREET

50' WIDE / 12'-26'-12"
N78°28'18"W

1 LAYOUT AND MATERIAL PLAN
C-3.0 TYPICAL

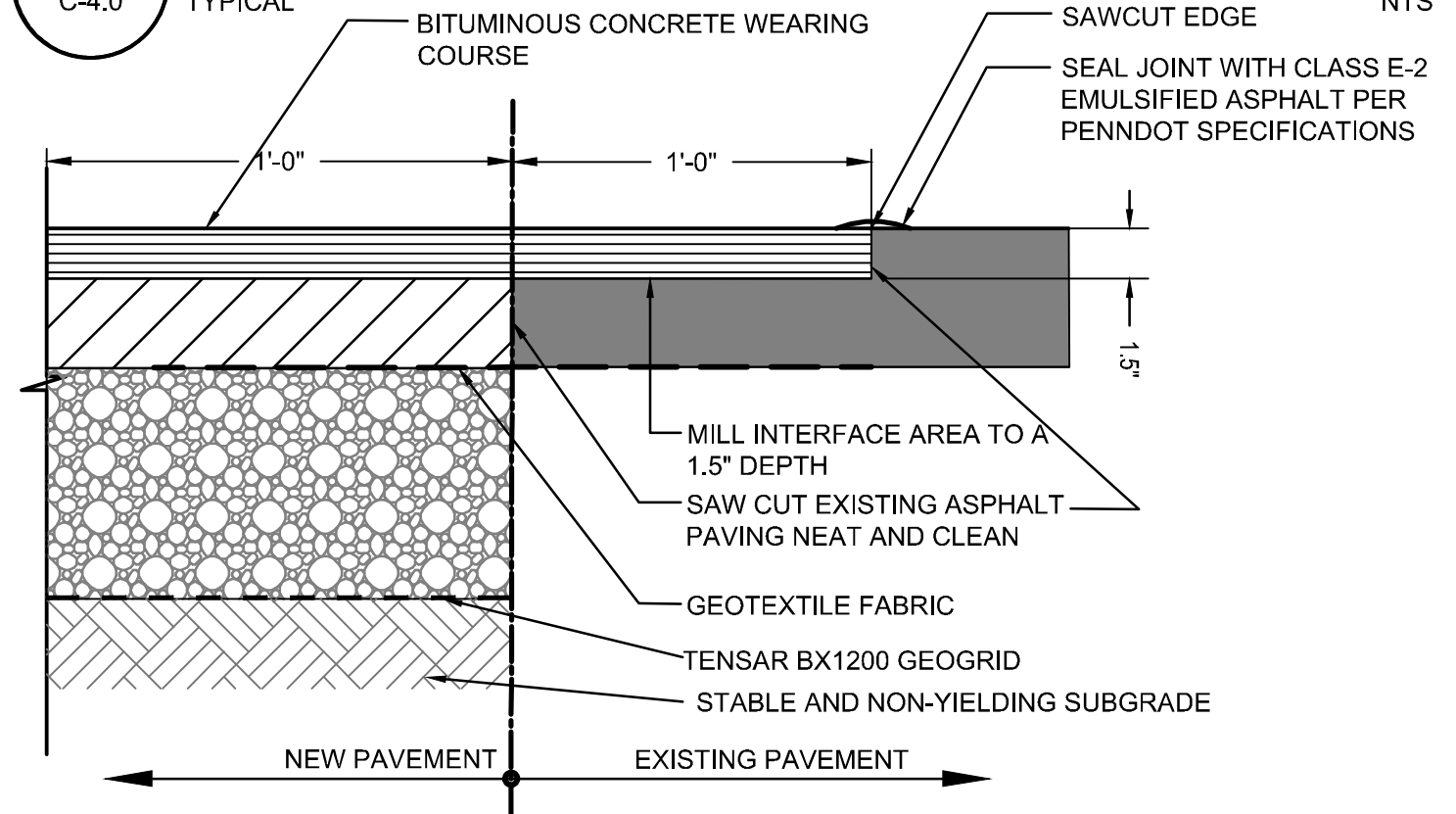


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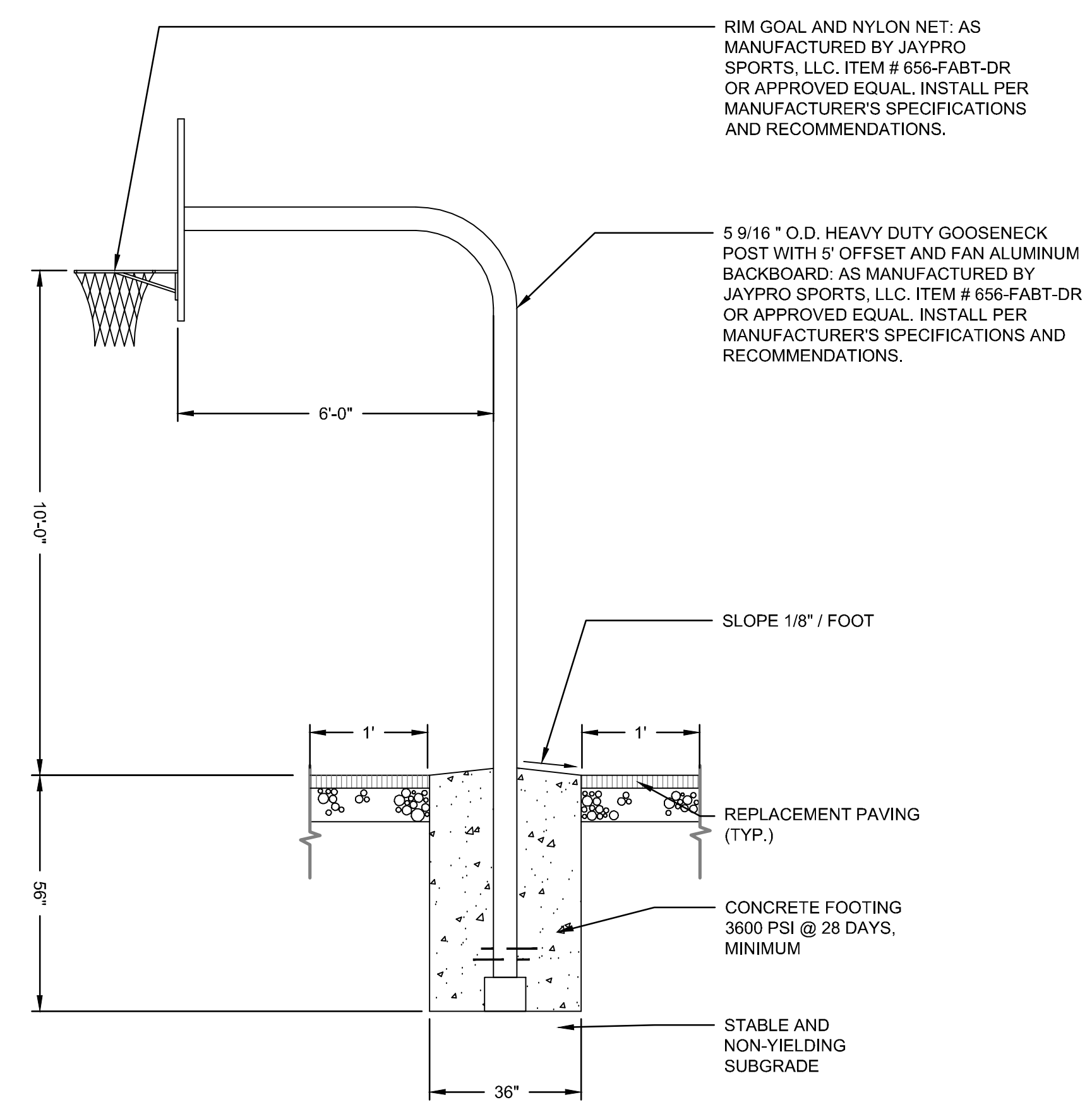
| AC % | 0.75 | 1.50 | 3.00 | 6.00 | 11.8 | 23.6 | 47.5 | 95.0 | 12.5 | 19 | 25 | 37 | 50 | F/A | Pbe |
|------------------------|------|------|------|------|------|------|------|------|------|-----|----|----|----|-----|-----|
| # | #200 | #100 | #50 | #30 | #16 | #8 | #4 | #3/8 | 1/2 | 3/4 | 1 | 1 | 1 | | |
| Design Target | 5.3 | 6.0 | 11 | 16 | 27 | 40 | 68 | 95 | 100 | | | | | | |
| %Virgin AC | 5.3 | | | | | | | | | | | | | | |
| %Reclaimed AC from RAP | | | | | | | | | | | | | | | |
| %Reclaimed AC from RAS | | | | | | | | | | | | | | | |

1 FULL DEPTH ASPHALT PAVING DETAIL
C-4.0 TYPICAL NTS

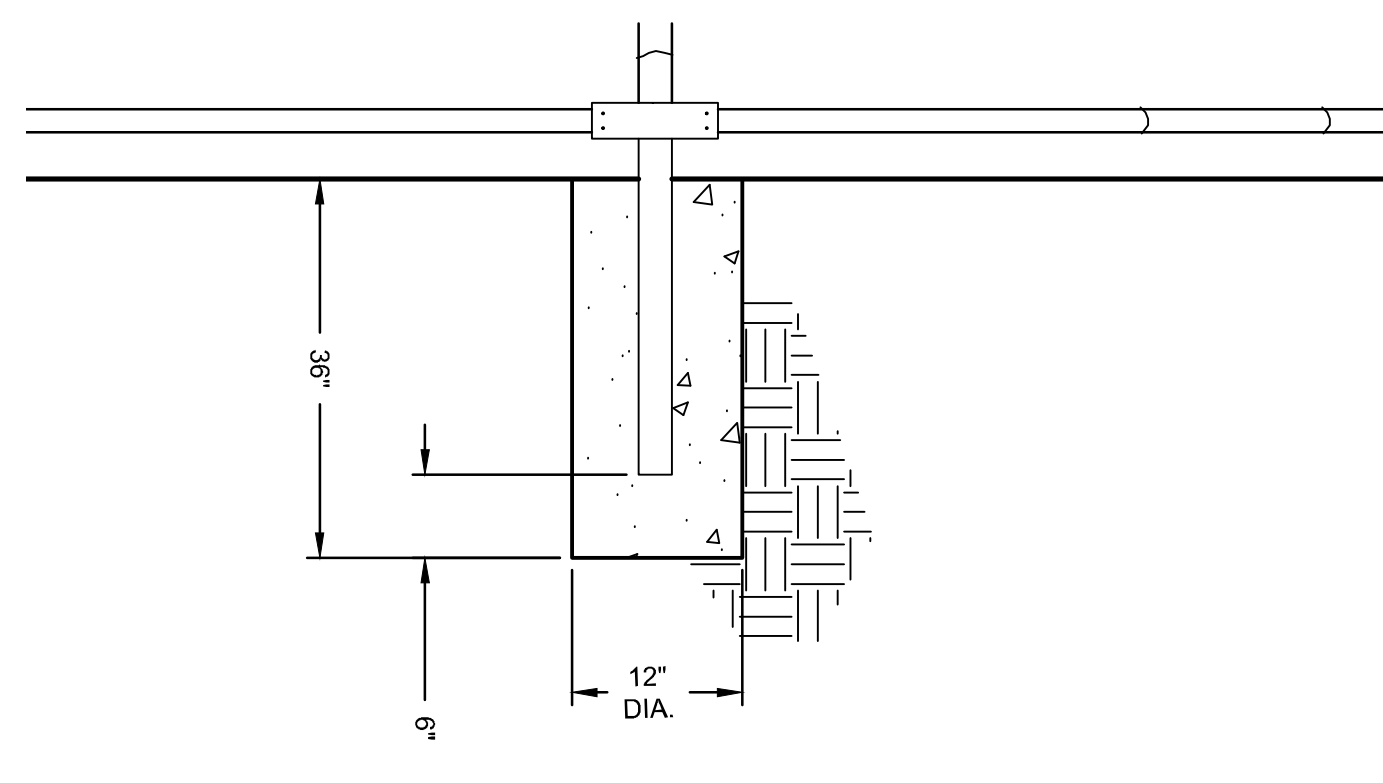


- NOTES:
 1. COAT ALL JOINING SURFACES WITH PENNDOT CLASS E-6 TACK COAT, 0.04 GAL./S.Y.
 2. SAWCUT ALL EXISTING ASPHALT EDGE NEAT AND CLEAN AND READY TO RECEIVE TACK COAT AND NEW PAVEMENT.

2 NEW/EXISTING ASPHALT PAVING CONNECTION
C-4.0 TYPICAL NTS



3 BASKETBALL BACKBOARD AND POST DETAIL
C-4.0 NTS



4 TYPICAL CHAIN LINK FENCE FOOTER DETAIL
C-4.0 NTS

PB-75PI

10" WIDE NON-SKID ALUMINUM PLANKS

FEATURES:
 - 10" WIDE NON-SKID ALUMINUM PLANKS
 - 2" x 2" HEAVY DUTY GALVANIZED STEEL LEGS FOR SUPERIOR RUST RESISTANCE
 - PLANKS ARE SUPPORTED BY A STRONG, GALVANIZED STEEL UNDERSTRUCTURE

OPTIONS:
 - CUSTOM POWDER COATED COLORS

| REV. | DESCRIPTION | DATE | BY |
|------|-----------------|----------|-----|
| 1 | INITIAL RELEASE | 03/15/13 | WVB |

jaypro sports
INDUSTRIAL PERFORMANCE AND COMMITMENT SINCE 1993
JAYPRO SPORTS, LLC, 374 HANFORD TURNPIKE, WATERFORD, CT 06495 USA

PB-75PI
7-1/2" PLAYERS BENCH WITH OUT BACK REST

ISSUE DATE: 8/22/2013
 DRAWN BY: Mouno T.
 CHECK DATE: 10/15/2013
 DESIGNED BY: WVB

T:\Aftermarket\Benches\Standard Benches\PB-75PISpec.dwg

NOTES:

- COMPOST SOCK SHALL BE "SILTSOXX" AS SUPPLIED BY MCS INC. (1971 N. BLACK HORSE PIKE, WILLIAMSTOWN, NJ 08094, 856-629-1044, www.mcsnjinc.com) OR EQUAL PRODUCT BY OTHER MANUFACTURER.
- FOR INSTALLATIONS ON EXISTING PAVEMENT, CINDER BLOCKS ON DOWNSTREAM SIDE MAY BE USED IN LIEU OF WOOD STAKES TO ANCHOR THE SOCKS.
- UPON COMPLETION OF THE PROJECT, COMPOST MATERIAL SHALL BE MIXED WITH ONSITE SOIL/TOPSOIL AND SPREAD ON THE SITE AS DETAILED IN SEEDING AND MULCHING SCHEDULE.
- SOCK FABRIC SHALL BE 5mil PHOTO-DEGRADABLE, HDPE FOR INSTALLATIONS LESS THAN 9 MONTHS. FOR PROJECTS WITH LONGER DURATIONS, SOCKS SHALL BE MULTI-FILAMENT POLYPROPYLENE FABRIC.
- INFILL MATERIAL SHALL BE WEED FREE COMPOST DERIVED FROM WELL-DECOMPOSED ORGANIC MATTER. COMPOST SHALL BE PRODUCED USING AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS. COMPOST MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

| | |
|-------------------------------|----------------------|
| ORGANIC MATTER CONTENT | 25% - 100% |
| ORGANIC PORTION | FIBROUS & ELONGATE |
| pH | 5.5 - 8.5 |
| MOISTURE CONTENT | 30% - 60% |
| PARTICLE SIZE | 30-50% PASS #3 SIEVE |
| SOLUBLE SALT | 5.0 dS/m MAXIMUM |

PLAN VIEW: SLOPE PROTECTION (SILT FENCE)

SECTION VIEW: COMPOST SOCK INSTALLATION

ALL BRUSH & HERBACEOUS PLANTS ALONG COMPOST SOCK AREA SHALL BE REMOVED AND/OR CUT DOWN TO GROUND LEVEL PRIOR TO INSTALLATION COMPOST SOCK(S).

6 12" COMPOST SOCK DETAIL
C-4.0 NTS

5 PLAYERS BENCH DETAIL
C-4.0 NTS

| REVISIONS | | |
|-----------|------|-----------|
| ISSUE | DATE | REVISIONS |
| | | |
| | | |
| | | |

PENNSYLVANIA ONE CALL SYSTEM, INC.
 625 South Sun Road
 West 100th, Philadelphia
 19122 - 1076

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
 NON-MEMBERS MUST BE CONTACTED DIRECTLY
 PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILIZE BEFORE YOU DIG, DRILL, BLAST OR DEMOLISH

PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PPR PROJECT COORDINATOR: FRANCESCO CERRAI, PLA

LAND ARCH. SEAL:

PRIMARY CONSULTANT:

GILMORE & ASSOCIATES, INC.
 DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
 1617 JOHN F. KENNEDY BLVD., SUITE 425
 PHILADELPHIA, PA 19103
 PHONE: (215) 345-4330

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER:

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER:

CITY OF PHILADELPHIA
 DEPARTMENT OF PARKS AND RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA
 PPR PROJECT NUMBER: 16-18-4746-01

IMPROVEMENTS TO HAWTHORNE PLAYGROUND
 1200 CARPENTER ST., PHILADELPHIA PA

SITE DETAILS

| | | | |
|------------------------|---------------|-------------|--------------|
| PPR PROJECT NO: | 16-18-4746-01 | DRAWING NO: | C-4.0 |
| CONSULTANT PROJECT NO: | 20140204134 | | |
| DATE: | 02/07/2019 | | |
| SCALE: | AS SHOWN | | |
| DRAWN BY: | MDS | | |
| CHECKED BY: | KMS | | |

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.